

SPRINGVALE SOUTH

47 LOTS

SHEET	SHEET NAME
01	COVER SHEET
02	NEIGHBOURHOOD AND SITE DESCRIPTION PLANS
03	DESIGN RESPONSE - LAYOUT VIEW
04	DESIGN RESPONSE - GROUND FLOOR
05	DESIGN RESPONSE - FIRST FLOOR
06	GARDEN AREAS
07-09	SHADOW DIAGRAM
10	DEVELOPEMENT SUMMARY
11-20	ACACIA
21-28	BANKIA
29-36	CASSIA
37-46	VIOLA
47-56	EUCALYPT
57-66	FICUS

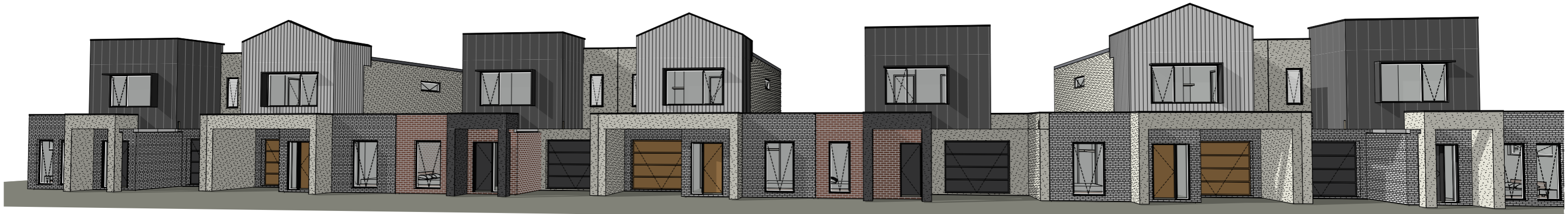
SPRINGVALE SOUTH | REVISIONS

rev	description	date
B	TOWN PLANNING - COUNCIL RFI	30.03.22
C	TOWN PLANNING - COUNCIL RFI's	19.01.22
C	TOWN PLANNING - COUNCIL RFI's	20.07.22
E	FFL'S UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 1 of 66
 Greater Dandenong City Council

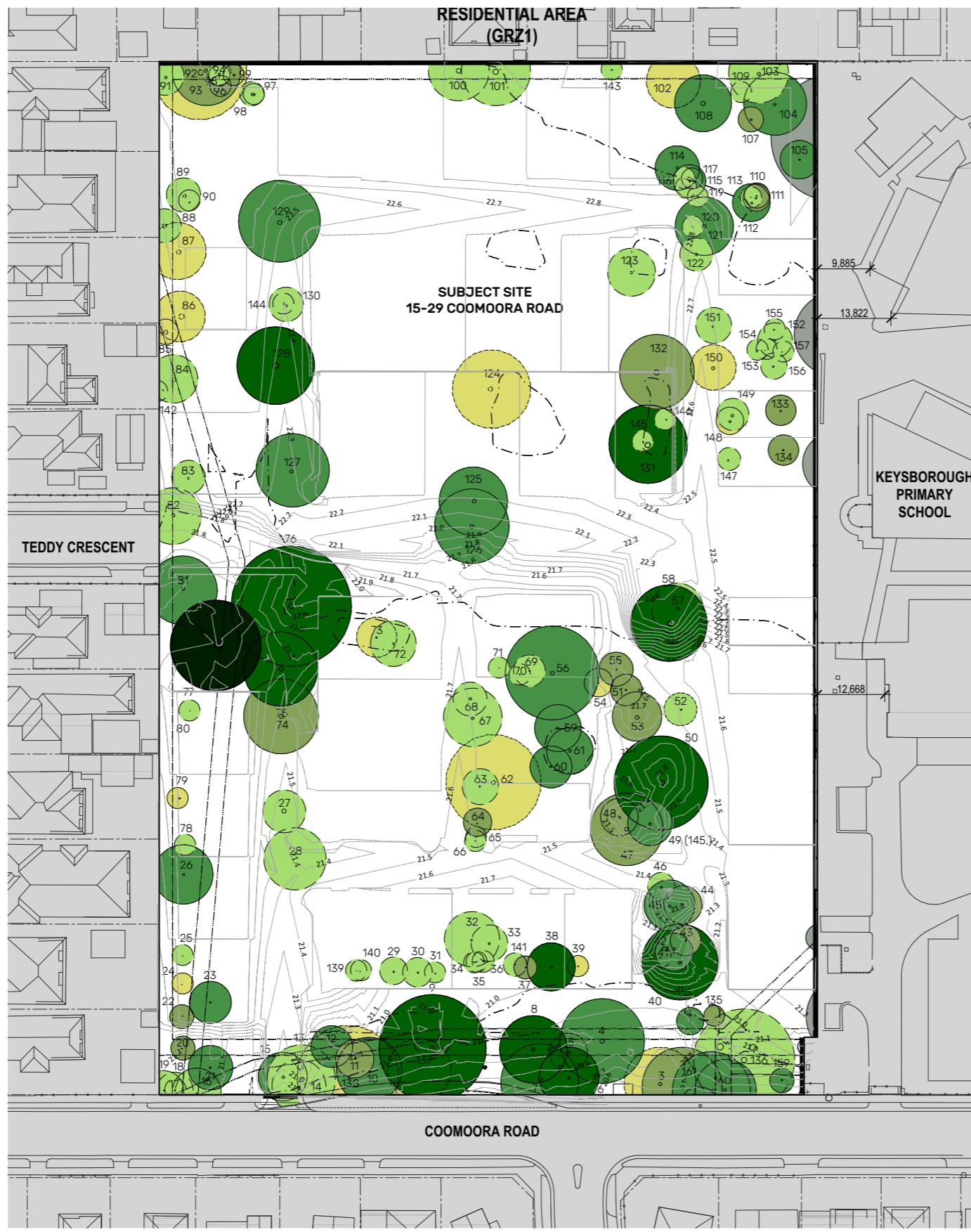
HOUSE TYPE	QTY	CARS
ACACIA - 1	4	2
ACACIA SHORT	4	2
ACACIA - 2	4	2
ACACIA S [SPECIAL]	2	2
BANKSIA	4	1
BANKSIA - CORNER	2	2
CASSIA	4	2
CASSIA - CORNER	2	2
VIOLA	9	2
EUCALYPT	3	2
EUCALYPT END	2	2
FICUS	4	1
FICUS - CORNER	2	2

SITE AREA	24,064.20m ²	100%
GARDEN AREA	16,580 m ²	68.9%
PERMEABILITY	15,047m ²	62.5%
SITE COVERAGE	4,294.4m ²	17.84%



ARTIST IMPRESSION ONLY

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 2 of 66
 Greater Dandenong City Council



LEGEND

- PROPERTY BOUNDARY
- NEIGHBOURING BUILDINGS
- EXISTING PRIMARY SITE CONTOURS (SHOWN AT 1m INTERVALS) - REFER FEATURE & LEVEL SURVEY
- LOCATION OF EXISTING (REMAINING) & PROPOSED SEWER & DRAINAGE EASEMENTS ON SITE - REFER DP19 - EASEMENT REMOVAL & RELOCATION PLAN
- SURROUNDING NEIGHBOURHOOD TREES (SHOWN INDICATIVELY ONLY)

LEGEND - EXISTING TREES

THE EXISTING TREES ON THE SITE HAVE BEEN ASSESSED BY TREE LOGIC, NUMBERED AND ATTRIBUTED AN ARBORICULTURAL RATING WHICH REFLECTS THE RETENTION VALUE OF EACH TREE - REFER ARBORICULTURAL ASSESSMENT AND REPORT HAS BEEN PREPARED BY TREE LOGIC (REF. 009059, DATED 13 APRIL 2018)

- 1x HIGH
77
- 11x MODERATE A
6, 8, 9, 38, 40, 50, 58, 75, 76, 128, 131
- 32x MODERATE B
1, 4, 7, 10, 12, 15, 21, 23, 26, 41, 45, 49 (145), 56, 59, 60, 61, 81, 104, 105, 108, 112, 114, 115, 121, 125, 126, 127, 129, 159, 160, 161, 162
- 22x MODERATE C
2, 11, 20, 22, 37, 43, 44, 47, 48, 51, 53, 55, 64, 74, 93, 107, 110, 111, 132, 133, 134, 135
- 70x LOW
13, 14, 16, 17, 18, 19, 25, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 42, 46, 52, 57, 63, 65, 66, 67, 68, 69, 70, 71, 72, 78, 80, 82, 83, 84, 88, 89, 91, 94, 98, 100, 101, 103, 109, 113, 116, 118, 119, 120, 122, 123, 130, 136, 139, 140, 141, 142, 143, 144, 145, 146, 147, 149, 151, 152, 153, 154, 155, 156, 157
- 24x NONE
3, 5, 24, 39, 54, 62, 73, 79, 85, 86, 87, 90, 92, 95, 96, 97, 99, 102, 117, 124, 137, 138, 148, 150

TOTAL: 160 EXISTING TREES ON SITE

THERE ARE ALSO 4 TREES THAT HAVE BEEN ASSESSED AND RATED IN THE TREE LOGIC ARBORICULTURAL ASSESSMENT AND REPORT THAT ARE NOT LOCATED ON THE SITE. THESE ARE AS FOLLOWS:

- 106 (MODERATE A)
- 158 (LOW)
- 163 (MODERATE B)
- 164 (MODERATE B)

THESE 4 TREES ARE SHOWN AS SURROUNDING NEIGHBOURHOOD TREES AND ARE NUMBERED ON THE EXISTING TREE PLAN FOR REFERENCE

- 600m DARREN RESERVE KINDERGARTEN
- 4.9km YARRAMAN RAILWAY STATION
- 8.0km DANDENONG HOSPITAL
- 1.4km 812 BUS ROUTE (DANDENONG-BRIGHTON VIA PARKMORE SHOPPING CENTRE)
- 1.0km BADMINTON CLUB
- 2.8km FREDERICK WACHTER RESERVE
- 3.4km CHANDLER PARK PRIMARY SCHOOL
- 5.0km EASTLINK
- 6.4km DANDENONG / DANDENONG RAILWAY STATION

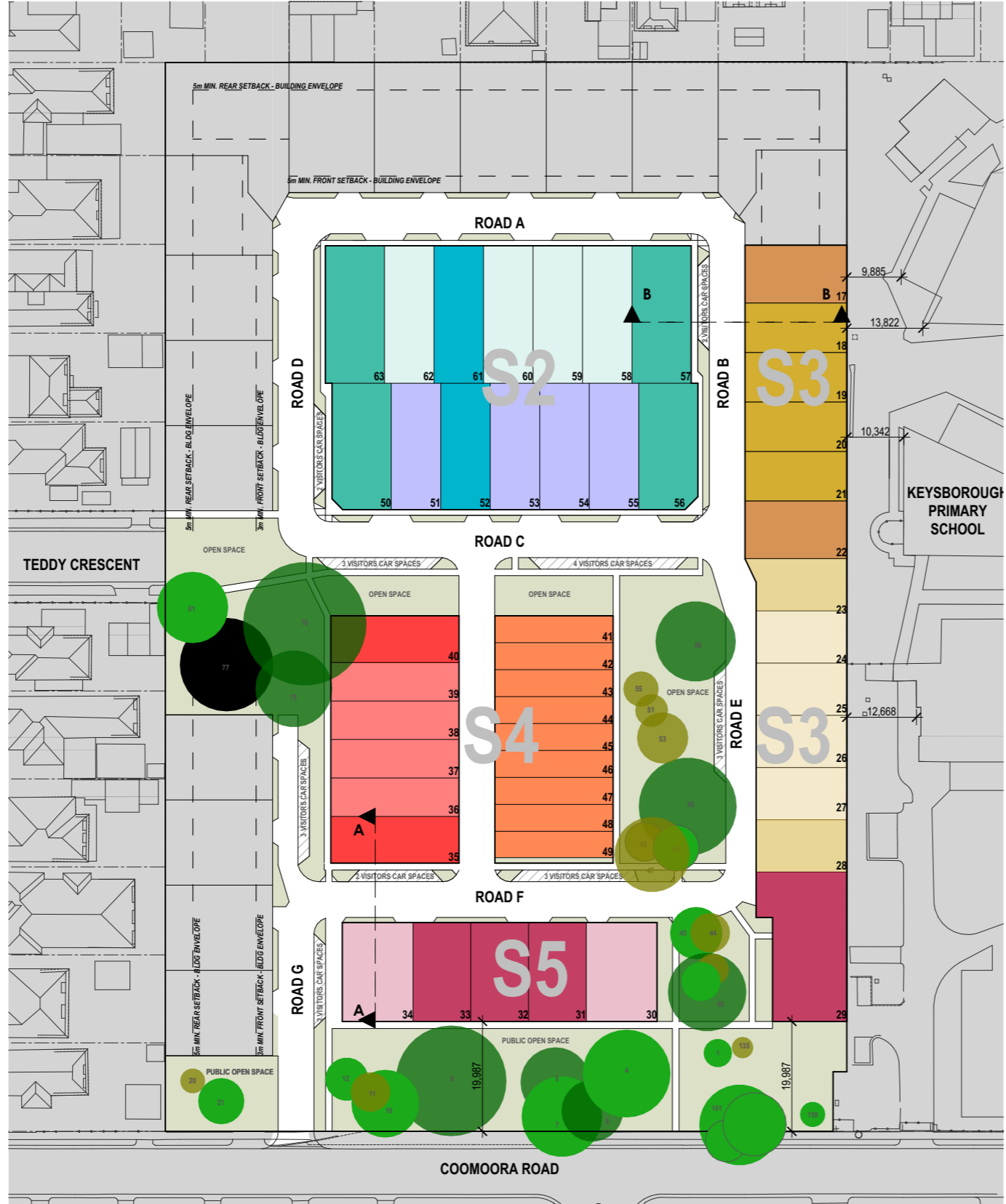
- RESIDENTIAL AREA (GRZ1)
- RESIDENTIAL AREA (GRZ1)
- 500m 902 BUS ROUTE (CHELSEA-AIRPORT WEST)
- 1.5km DINGLEY TENNIS CLUB
- 1.8km SPRINGVALE & DISTRICT NETBALL ASSOCIATION
- 1.8km DINGLEY SKATE PARK
- 3.0km DINGLEY LIBRARY
- 3.0km DINGLEY FOOTBALL / NETBALL CLUB
- 3.2km DINGLEY PRIMARY SCHOOL
- 3.4km DINGLEY VILLAGE
- 2.0km SPRING PARK PUBLIC GOLF COURSE
- 2.7km SOUTHERN GOLF COURSE
- 3.3km BRAESIDE PARK

- RESIDENTIAL AREA (GRZ1)
- RESIDENTIAL AREA (NRZ1)
- RESIDENTIAL AREA (NRZ1)
- 400m COOMOORA RESERVE
- 1.5km 812 BUS ROUTE (DANDENONG-BRIGHTON VIA PARKMORE SHOPPING CENTRE)
- 1.5km 828 BUS ROUTE (HAMPTON-BERWICK VIA SOUTHLAND SC & DANENONG)
- 1.5km COMMERCIAL HUB (BUNNINGS, OFFICEWORKS ETC)
- 2.0km HAILEYBURY COLLEGE KEYSBOROUGH
- 2.4km SPRINGERS LEISURE CENTRE
- 3.0km TATTERSON PARK
- 3.5km MENTONE GRAMMAR KEYSBOROUGH PLAYING FIELDS

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 3 of 66
 Greater Dandenong City Council



ACACIA - 1	[9m x 23m+]
ACACIA SHORT	[9m x 23m]
ACACIA - 2	[10.75m x 23m]
ACACIA S [SPECIAL]	[9m x 23m+]
BANKSIA	[9.5 x 16.5m]
BANKSIA - CORNER	[9.5 x 16.5m]
CASSIA	[9m x 18.5m]
CASSIA - CORNER	[10.5m x 18.5m]
VIOLA	[5m x 21.5m]
EUCALYPT	[10.5m x 18m]
EUCALYPT END	[12.85m x 18m]
FICUS	[7m x 23.3m]
FICUS - CORNER	[8.5m x 23.3m]
	VISITORS PARKING BAY

LEGEND - TREE RETENTION

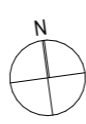
THE FOLLOWING EXISTING TREES ON SITE ARE TO BE RETAINED:

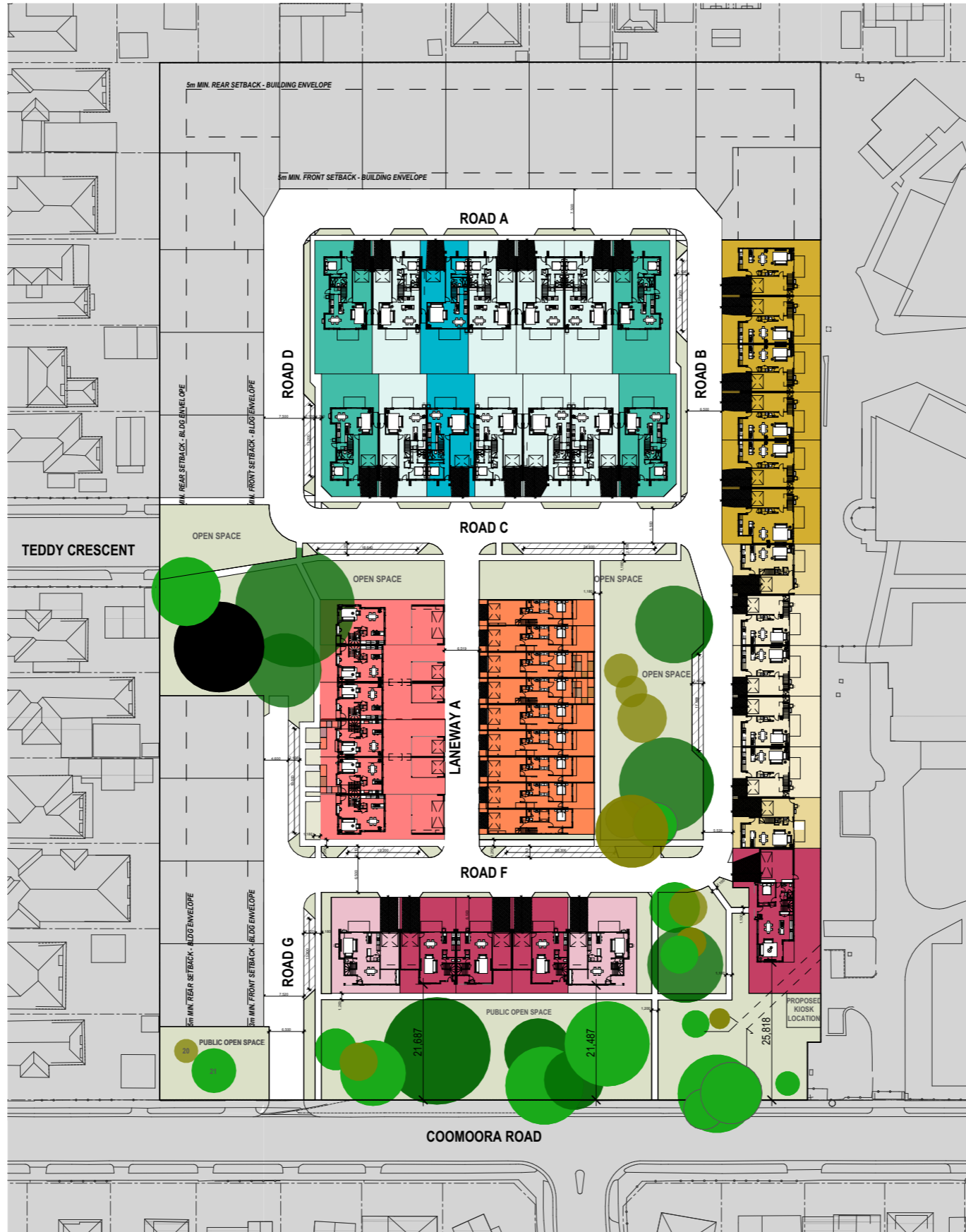
	1x HIGH	77
	8x MODERATE A	6, 8, 9, 40, 50, 58, 75, 76
	15x MODERATE B	1, 4, 7, 10, 12, 21, 41, 45, 49 (145), 81, 105, 159, 160, 161, 162
	10x MODERATE C	11, 20, 43, 44, 47, 48, 51, 53, 55, 135
	0x LOW (NIL)	
	0x NONE (NIL)	

TOTAL: 34 EXISTING TREES ON SITE TO BE RETAINED

TREE NUMBERS SHOWN ARE TAKEN FROM THE ARBORICULTURAL ASSESSMENT AND REPORT PREPARED BY TREE LOGIC (REF. 009059, DATED 13 APRIL 2018)

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24





GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 4 of 66
 Greater Dandenong City Council

ACACIA - 1	[9m x 23m+]
ACACIA SHORT	[9m x 23m]
ACACIA - 2	[10.75m x 23m]
ACACIA S [SPECIAL]	[9m x 23m+]
BANKSIA	[9.5 x 16.5m]
BANKSIA - CORNER	[9.5 x 16.5m]
CASSIA	[9m x 18.5m]
CASSIA - CORNER	[10.5m x 18.5m]
VIOLA	[5m x 21.5m]
EUCALYPT	[10.5m x 18m]
EUCALYPT END	[12.85m x 18m]
FICUS	[7m x 23.3m]
FICUS - CORNER	[8.5m x 23.3m]
VISITORS PARKING BAY	

LEGEND - TREE RETENTION

THE FOLLOWING EXISTING TREES ON SITE ARE TO BE RETAINED:

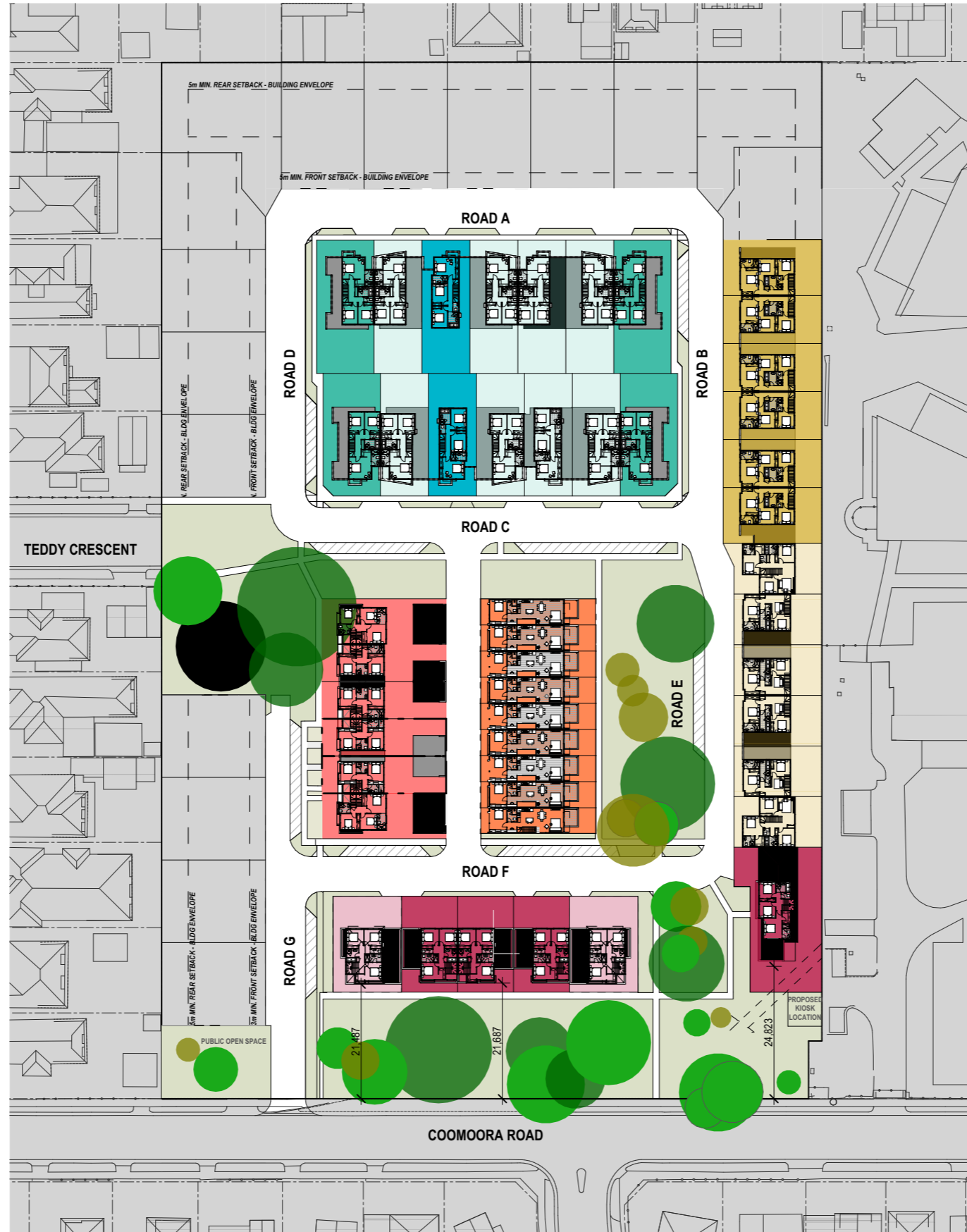
	1x HIGH 77
	8x MODERATE A 6, 8, 9, 40, 50, 58, 75, 76
	15x MODERATE B 1, 4, 7, 10, 12, 21, 41, 45, 49 (145), 81, 105, 159, 160, 161, 162
	10x MODERATE C 11, 20, 43, 44, 47, 48, 51, 53, 55, 135
	0x LOW (NIL)
	0x NONE (NIL)

TOTAL: 34 EXISTING TREES ON SITE TO BE RETAINED

TREE NUMBERS SHOWN ARE TAKEN FROM THE ARBORICULTURAL ASSESSMENT AND REPORT PREPARED BY TREE LOGIC (REF. 009059, DATED 13 APRIL 2018)

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 5 of 66
 Greater Dandenong City Council



ACACIA - 1	[9m x 23m+]
ACACIA SHORT	[9m x 23m]
ACACIA - 2	[10.75m x 23m]
ACACIA S [SPECIAL]	[9m x 23m+]
BANKSIA	[9.5 x 16.5m]
BANKSIA - CORNER	[9.5 x 16.5m]
CASSIA	[9m x 18.5m]
CASSIA - CORNER	[10.5m x 18.5m]
VIOLA	[5m x 21.5m]
EUCALYPT	[10.5m x 18m]
EUCALYPT END	[12.85m x 18m]
FICUS	[7m x 23.3m]
FICUS - CORNER	[8.5m x 23.3m]
	VISITORS PARKING BAY

LEGEND - TREE RETENTION

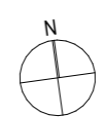
THE FOLLOWING EXISTING TREES ON SITE ARE TO BE RETAINED:

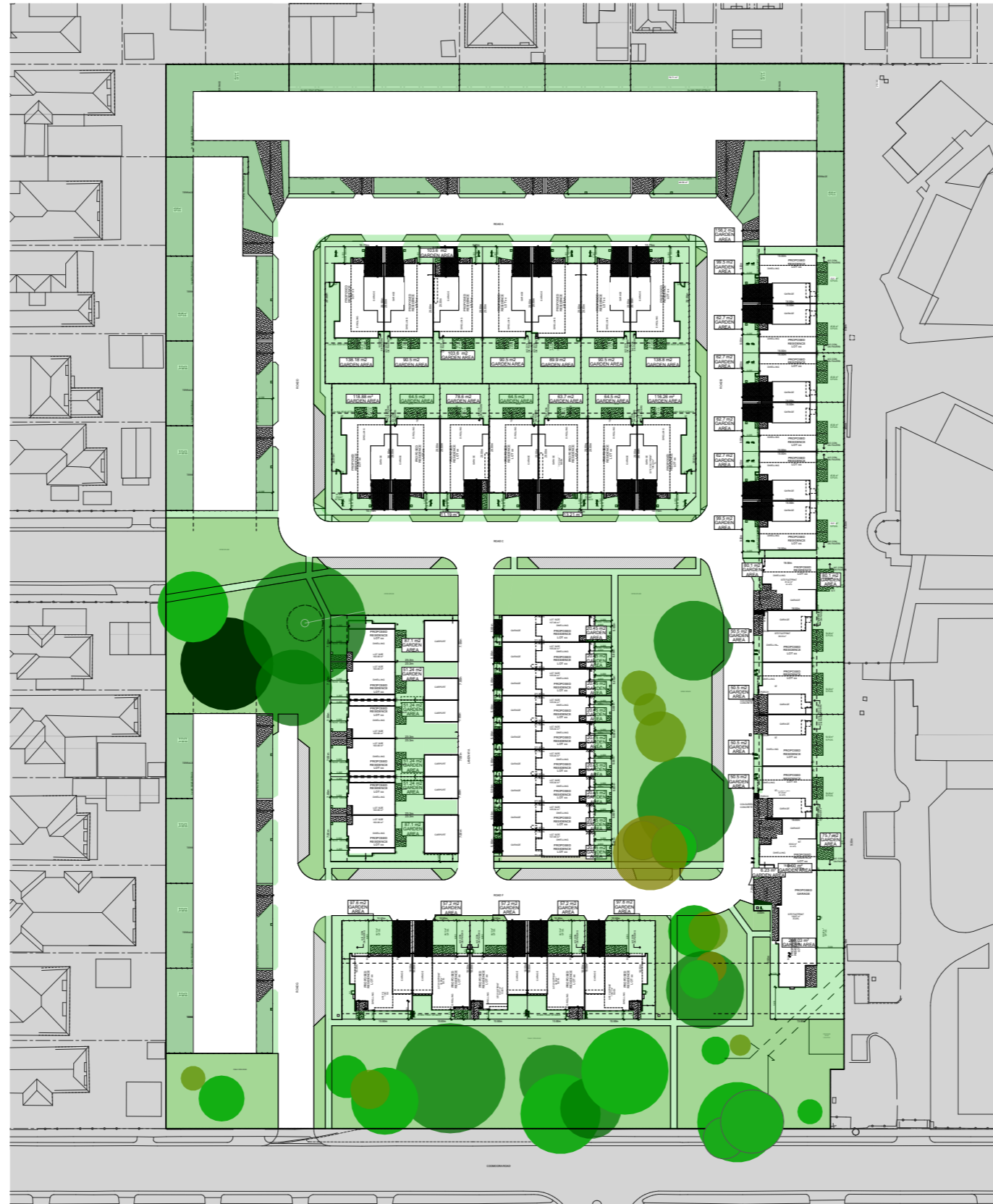
	1x HIGH 77
	8x MODERATE A 6, 8, 9, 40, 50, 58, 75, 76
	15x MODERATE B 1, 4, 7, 10, 12, 21, 41, 45, 49 (145), 81, 105, 159, 160, 161, 162
	10x MODERATE C 11, 20, 43, 44, 47, 48, 51, 53, 55, 135
	0x LOW (NIL)
	0x NONE (NIL)

TOTAL: 34 EXISTING TREES ON SITE TO BE RETAINED

TREE NUMBERS SHOWN ARE TAKEN FROM THE ARBORICULTURAL ASSESSMENT AND REPORT PREPARED BY TREE LOGIC (REF. 009059, DATED 13 APRIL 2018)

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24





GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 6 of 66
 Greater Dandenong City Council

SITE AREA	24,064.20m ²	100%
GARDEN AREA	14,202 m ²	59.01%

 GARDEN AREA

NOTE:
 GARDEN AREA CALCULATIONS FOR THE LAND LOTS, HAS CONSERVATIVELY ASSUMED THAT GARDEN AREA FOR THESE LOTS WILL ONLY BE AREAS OUTSIDE OF THE INDICATED BUILDING ENVELOPE AND DRIVEWAYS. ULTIMATELY, THE GARDEN AREA PROVISION FOR THESE LOTS IS EXPECTED TO BE HEIGHER THAN INCLUDED IN THIS CLACULATION.



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



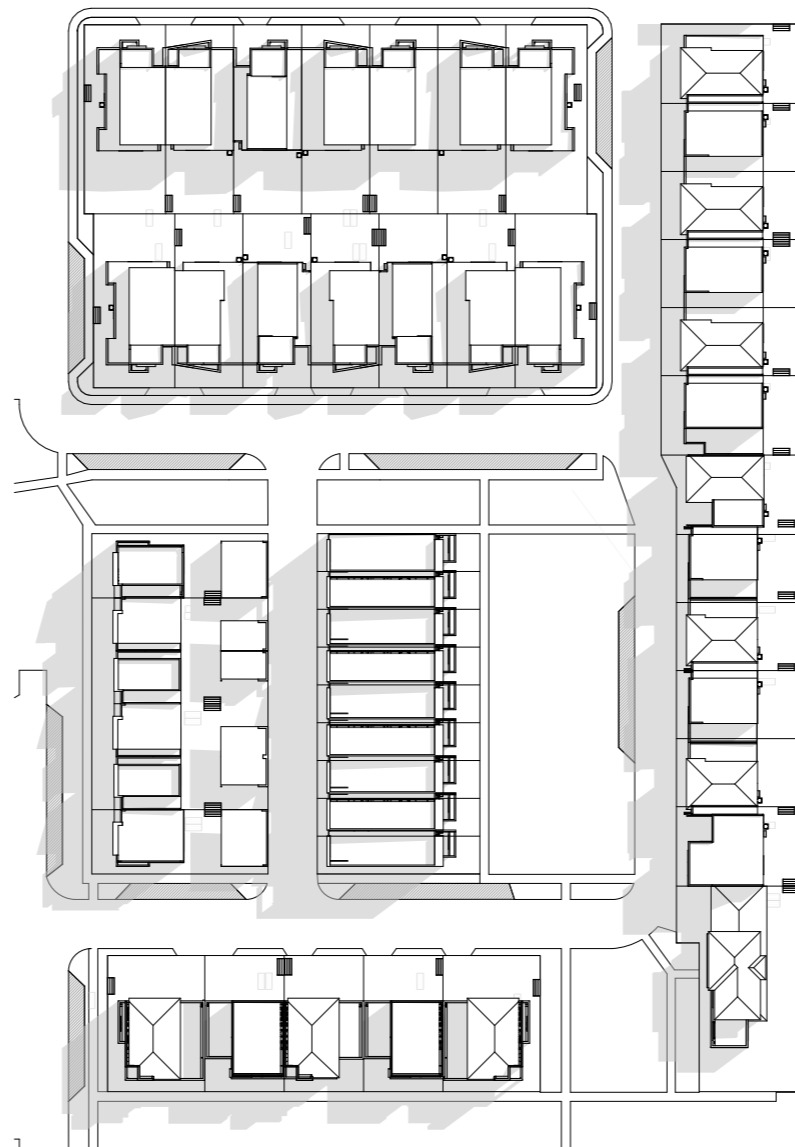
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:1000@A3

drawing name
GARDEN AREAS

drawn MY	sheet 06
date 25.04.24	rev H



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 7 of 66
 Greater Dandenong City Council

D01 Shadow Diagram 9am



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



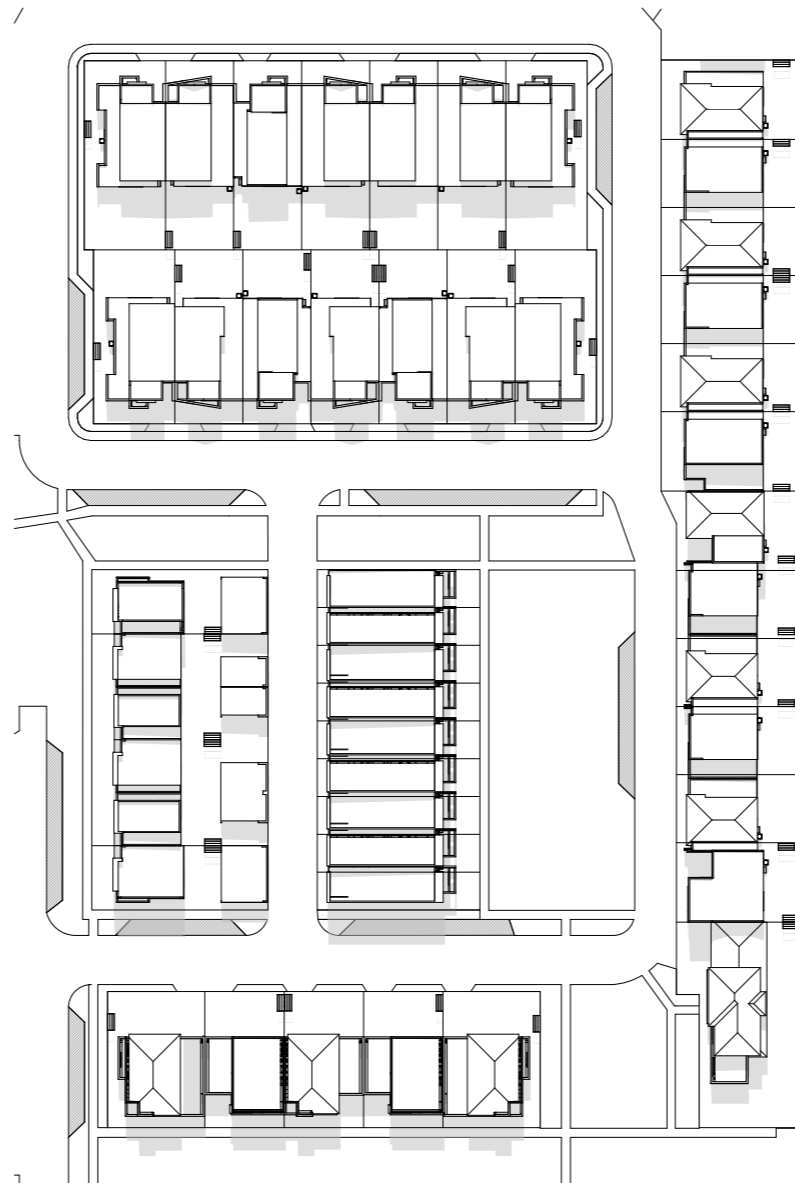
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:1000@A3

drawing name
Shadow Diagram 9am

drawn MY	sheet 07
date 25.04.24	rev H



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 8 of 66
 Greater Dandenong City Council

D01

Shadow Diagram 12pm



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



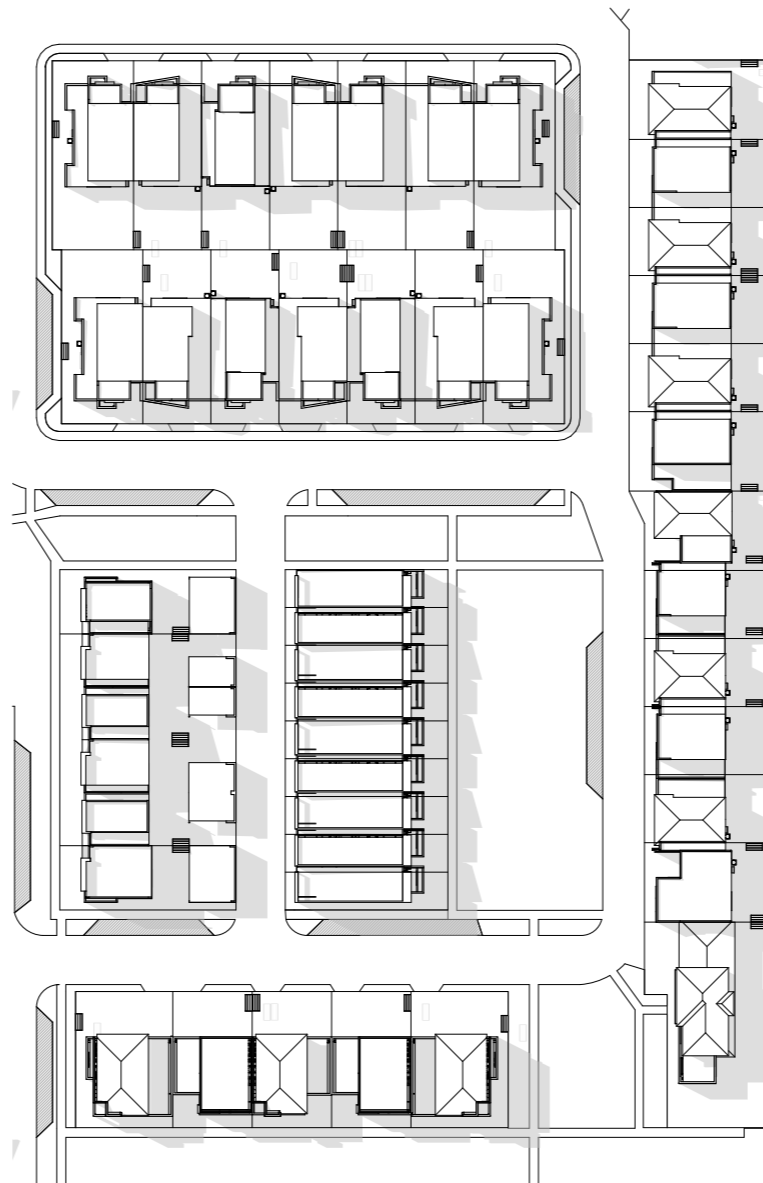
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:1000@A3

drawing name
Shadow Diagram 12pm





GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 9 of 66
 Greater Dandenong City Council

D01

Shadow Diagram 3pm



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

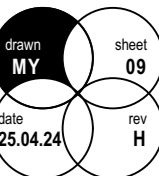


site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:1000@A3

drawing name
Shadow Diagram 3pm

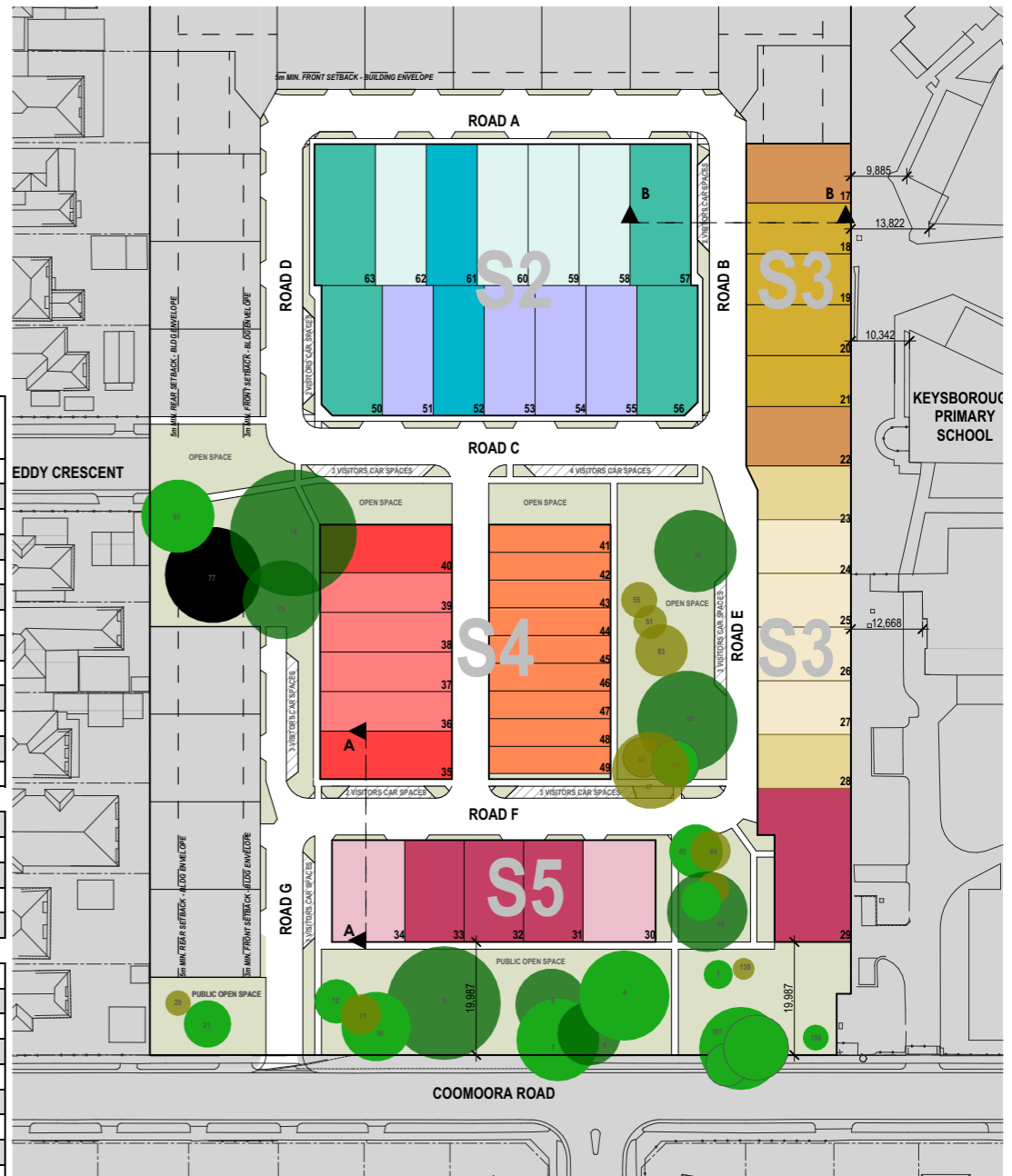


NOTE:
1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

Super Lot	Total Area	Site Coverage m2	Site Coverage %	Permeability m2	Permeability %
S2	3187.4	1540.11	48.32%	1336.81	41.94%
S3	2387.73	1134.93	47.53%	1003.75	42.04%
S4	1994.5	1241.13	62.23%	668.02	33.49%
S5	1029.6	484.25	47.03%	417.79	40.58%

GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 10 of 66
Greater Dandenong City Council

Lot	Super Lot	Type	Beds	Total Area	Width	Depth	Ground	First	Garage	SPOS m2	POS m2	Site Coverage m2	Site Coverage %	Permeability m2	Permeability %
17	S3	CASSIA F1	3	194.25	10.5	18.5	57.28	71.38	25.72	52.63	99.66	83	43%	89.39	46%
18		CASSIA F2	3	166.5	9	18.5	56.62	71.2	25.72	45.11	63.89	82.34	49%	62.33	37%
19		CASSIA F1	3	166.5	9	18.5	57.27	71.38	25.74	45.11	63.89	83.01	50%	62.23	37%
20		CASSIA F2	3	166.5	9	18.5	56.62	71.2	25.72	45.11	63.89	82.34	49%	62.33	37%
21		CASSIA F1	3	166.5	9	18.5	57.27	71.38	25.74	45.11	63.89	83.01	50%	62.23	37%
22		CASSIA F2	3	194.25	10.5	18.5	68.2	71.2	25.72	53.3	80.1	93.92	48%	78.52	40%
23		BANKSIA C-F1	3	160.93	9.5	Irregular	56.56	82.04	24.81	47.5	60.1	81.37	51%	58.82	37%
24		BANKSIA-F2	2	156.75	9.5	16.5	55.18	62.56	26.2	55.5	65.9	81.38	52%	62.84	40%
25		BANKSIA-F1	2	156.75	9.5	16.5	55.76	62.74	26.24	55.5	65.9	82	52%	62.24	40%
26		BANKSIA-F2	2	156.75	9.5	16.5	55.18	62.56	26.2	55.5	65.9	81.38	52%	62.84	40%
27	BANKSIA-F1	2	156.75	9.5	16.5	55.76	62.74	26.1	55.5	65.9	81.86	52%	62.38	40%	
28	BANKSIA C-F2	3	156.75	9.5	16.5	57.17	82.5	24.51	47.5	60	81.68	52%	54	34%	
29	LOT 29-F1	4	388.55	13.5	Irregular	95.71	64.5	41.93	150.61	207	137.64	35%	223.6	58%	
30	S5	EUCALYPT-F2	3	231.3	12.85	18	79.83	67.6	25.81	59.64	97.77	105.64	46%	100.28	43%
31		EUCALYPT-F1	3	189	10.5	18	64.2	67.62	27	44.37	70.18	91.2	48%	72.09	38%
32		EUCALYPT-F2	3	189	10.5	18	63.23	66.36	27.34	44.37	70.18	90.57	48%	73.05	39%
33		EUCALYPT-F1	3	189	10.5	18	64.2	67.62	27	44.37	70.18	91.2	48%	72.09	38%
34	EUCALYPT-F2	3	231.3	12.85	18	79.83	67.6	25.81	59.64	100.07	105.64	46%	100.28	43%	
35	S4	FICUS C	3	198.05	8.5	23.3	64.63	60.94	46.31	45.35	98.24	110.94	56%	83.01	42%
36		FICUS F1	2	163.1	7	23.3	59.56	50.15	23.77	37.35	77.88	83.33	51%	67.21	41%
37		FICUS F2	2	163.1	7	23.3	59.54	50.26	23.77	37.35	77.88	83.31	51%	67.23	41%
38		FICUS F1	2	163.1	7	23.3	59.56	50.15	23.77	37.35	77.88	83.33	51%	75.67	46%
39		FICUS F2	2	163.1	7	23.3	59.54	50.26	23.77	37.35	77.88	83.31	51%	75.69	46%
40		FICUS C	3	198.05	8.5	23.3	64.69	60.77	46.31	45.35	98.24	111	56%	82.95	42%
41		VIOLA F2	2	105.35	4.9	21.5	43.21	78.99	33.18	10	30	76.39	73%	22.21	21%
42		VIOLA F1	2	105.35	4.9	21.5	43.24	78.99	33.14	10	30	76.38	73%	22.22	21%
43		VIOLA F2	2	105.35	4.9	21.5	43.25	78.99	33.14	10	30	76.39	73%	4.49	4.2%
44		VIOLA F1	2	105.35	4.9	21.5	43.24	78.99	33.14	10	30	76.38	73%	4.50	4.2%
45		VIOLA F2	2	105.35	4.9	21.5	43.25	78.99	33.14	10	30	76.39	73%	22.21	21%
46		VIOLA F1	2	105.35	4.9	21.5	43.24	78.99	33.14	10	30	76.38	73%	22.22	21%
47		VIOLA F2	2	105.35	4.9	21.5	43.25	78.99	33.14	10	30	76.39	73%	22.21	21%
48		VIOLA F1	2	105.35	4.9	21.5	43.24	78.99	33.14	10	30	76.38	73%	22.22	21%
49	VIOLA F2	2	103.2	4.8	21.5	42.22	76.98	32.57	10	30	74.79	72%	21.66	21%	
50	S2	ACACIA C	4	245.4	Irregular	Irregular	80.08	72.98	26.55	68.1	120.04	106.63	43%	117.7	48%
51		ACACIA F1 S	4	207	9	23	85.42	72.87	26.65	57.6	74.22	112.07	54%	73.95	36%
52		ACACIA S	4	207	9	23	76.92	69.02	32.81	57.6	74.22	109.73	53%	70.83	34%
53		ACACIA F1 S	4	207	9	23	85.42	72.87	26.65	57.6	74.22	112.07	54%	73.95	36%
54		ACACIA F2 S	4	207	9	23	76.92	69.02	32.81	57.6	74.22	109.73	53%	70.8	34%
55		ACACIA F1 S	4	207	9	23	85.42	72.87	26.65	57.6	74.22	112.07	54%	73.95	36%
56		ACACIA C	4	244.5	Irregular	Irregular	80.08	72.98	26.55	68.1	120.04	106.63	44%	116.85	48%
57		ACACIA C	4	268.75	10.75	25	80.08	72.98	26.55	68.1	120.04	106.63	40%	141.05	52%
58		ACACIA F1	4	225	9	25	85.09	73.3	26.71	75.6	91.6	111.8	50%	92.22	41%
59		ACACIA F2	4	225	9	25	85.44	73.3	26.69	75.6	91.6	112.13	50%	91.8	41%
60		ACACIA F1	4	225	9	25	85.42	73.3	26.71	75.6	91.6	112.13	50%	91.89	41%
61		ACACIA S	4	225	9	25	76.92	69.02	32.81	76.5	82.48	109.73	49%	88.83	39%
62		ACACIA F1	4	225	9	25	85.42	73.3	26.71	75.6	91.6	112.13	50%	91.89	41%
63		ACACIA C	4	268.75	10.75	25	80.08	72.98	26.55	68.1	120.04	106.63	40%	141.1	53%



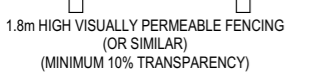
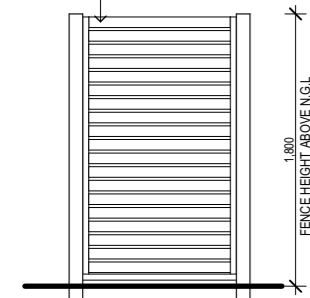
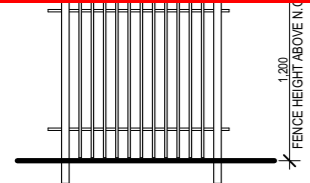
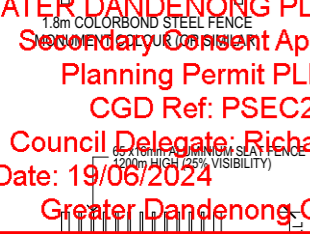
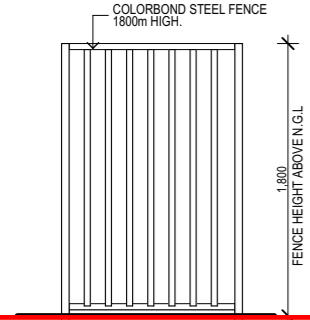
A TOTAL OF 24 VISITORS CAR SPACES IN THE DEVELOPPEMENT.

- ACACIA - 1 [9m x 23m+]
- ACACIA SHORT [9m x 23m]
- ACACIA - 2 [10.75m x 23m]
- ACACIA S [SPECIAL] [9m x 23m+]
- BANKSIA [9.5 x 16.5m]
- BANKSIA - CORNER [9.5 x 16.5m]
- CASSIA [9m x 18.5m]
- CASSIA - CORNER [10.5m x 18.5m]
- VIOLA [5m x 21.5m]
- EUCALYPT [10.5m x 18m]
- EUCALYPT END [12.85m x 18m]
- FICUS [7m x 23.3m]
- FICUS - CORNER [8.5m x 23.3m]

VISITORS PARKING BAY

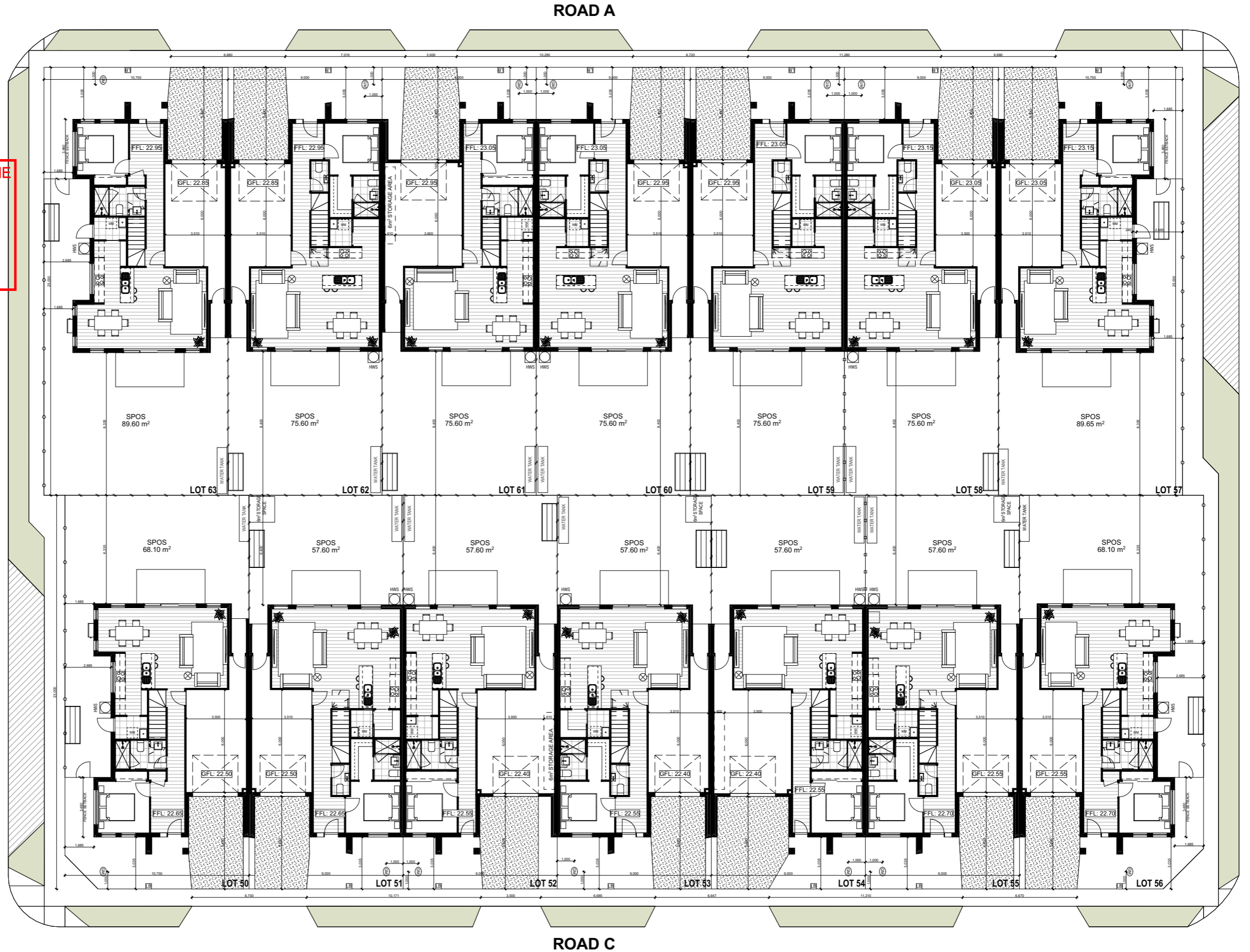
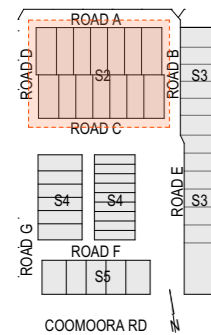
NOTE:
 1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE
 CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 11 of 66
 Greater Dandenong City Council



FENCING LEGEND

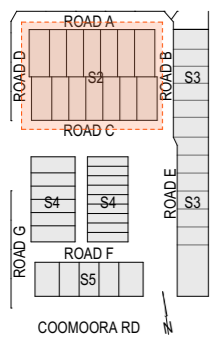
- 1.2m HIGH ALUMINIUM FRONT FENCE
25% PERMEABILITY
- 1.8m HIGH COLORBOND FENCE
- VISUALLY PERMEABLE FENCING (OR SIMILAR) @ 1800mm HIGH (MINIMUM 10% TRANSPARENCY)



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 12 of 66
 Greater Dandenong City Council



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

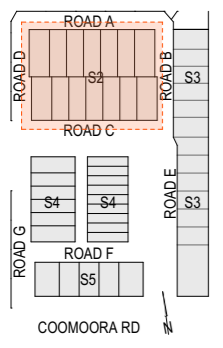
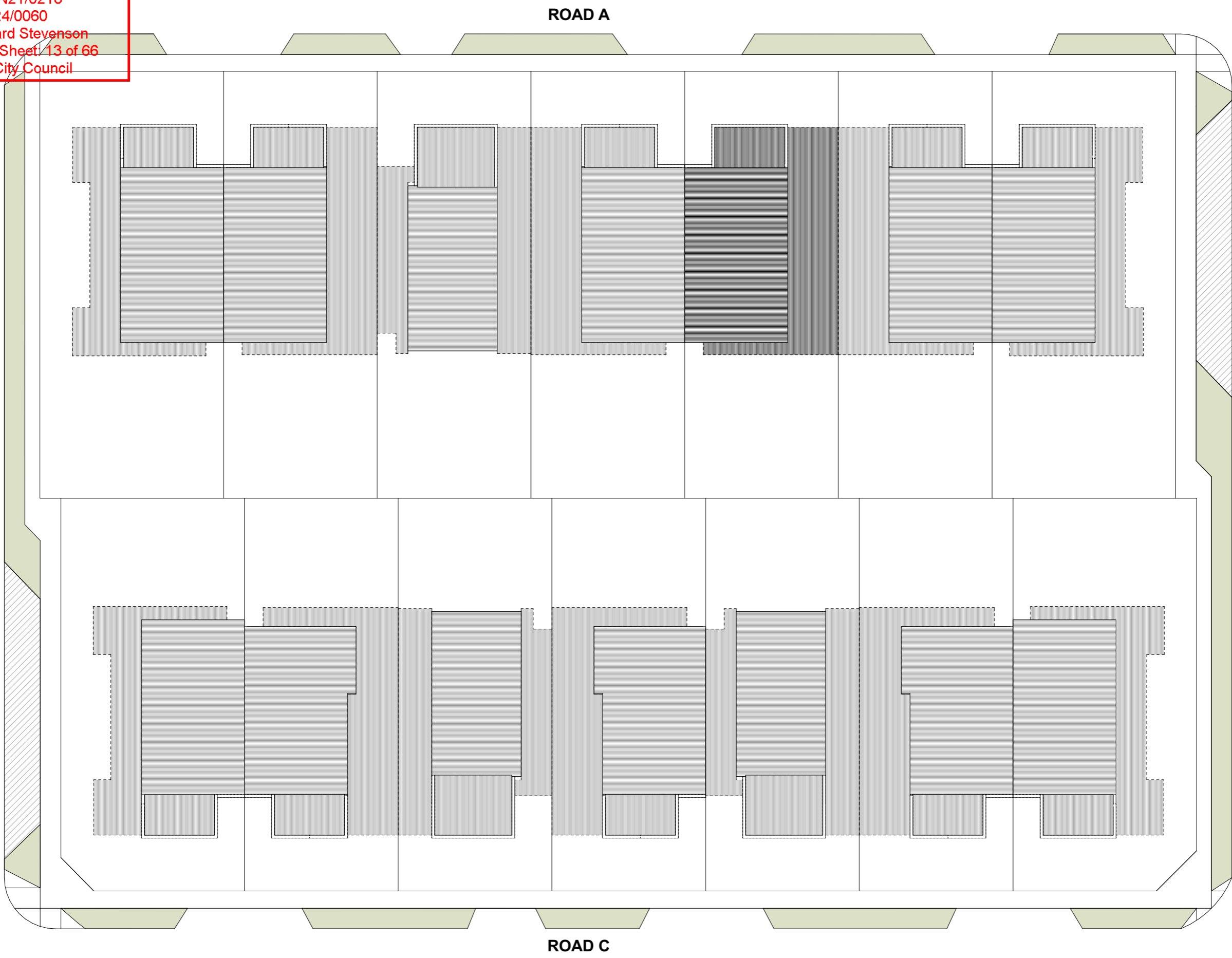
project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**
 client
DEVELOPMENT VICTORIA

project no. estate scale
 drawing name
ACACIA (S2) - FIRST FLOOR PLAN

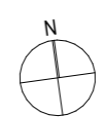
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 13 of 66
 Greater Dandenong City Council

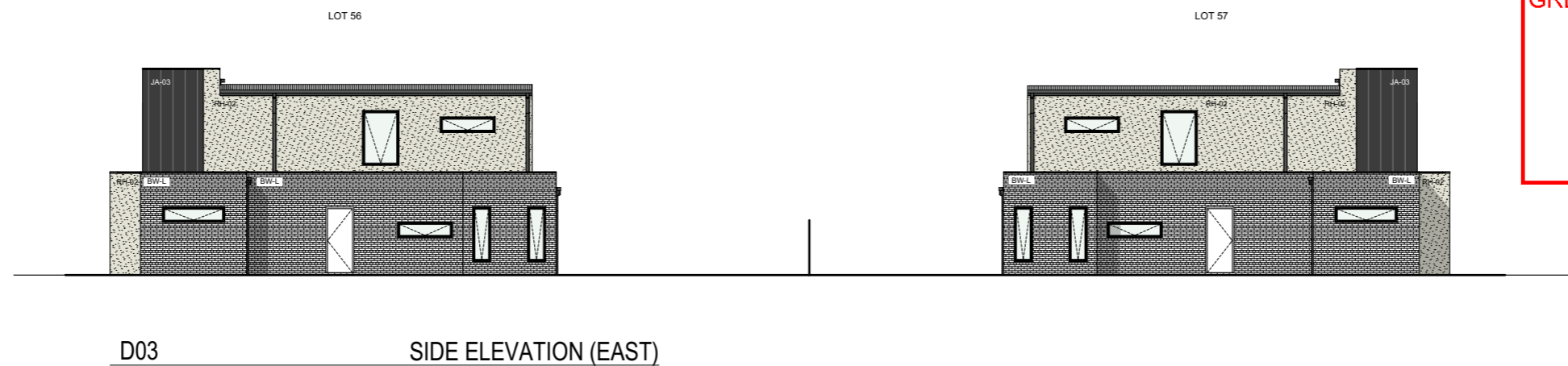


ROAD A

ROAD C

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

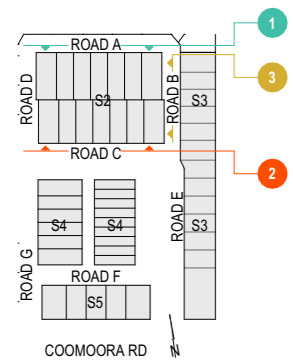




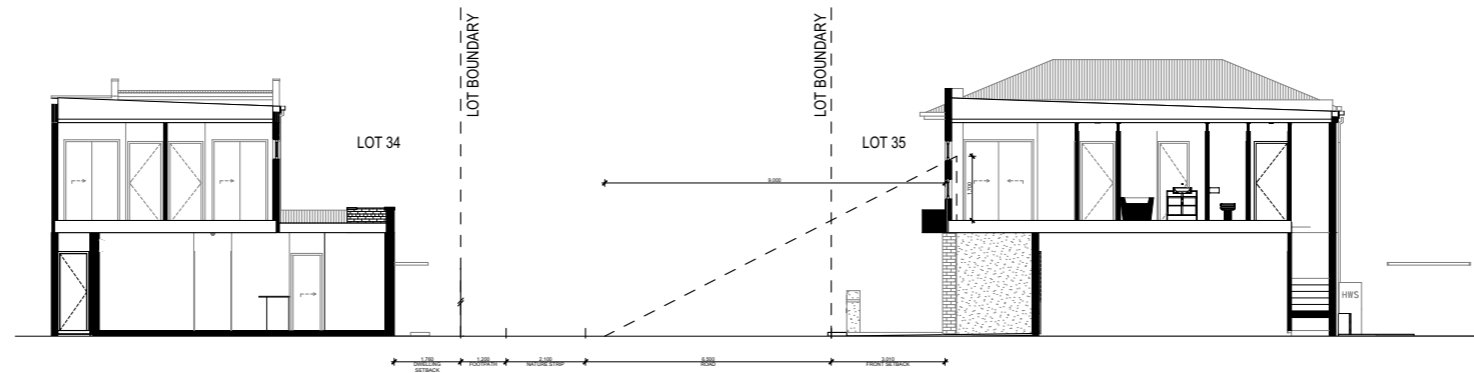
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 14 of 66
 Greater Dandenong City Council

NOTE:
ALL HABITABLE ROOM WINDOWS TO BE
DOUBLE GLAZED

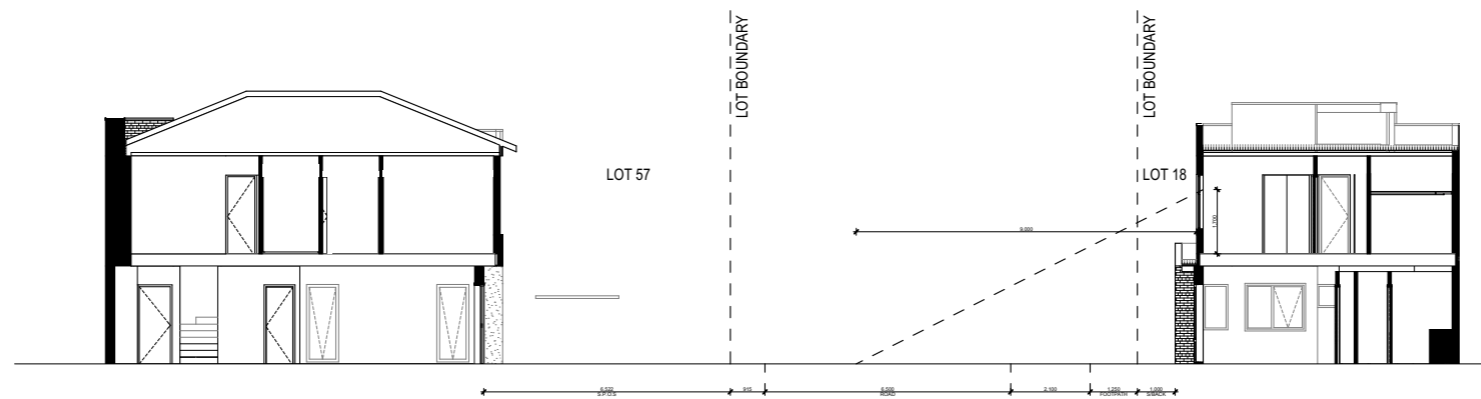
MATERIALS SCHEDULE																																					
BW Brickwork Dark colour or similar	BW Brickwork Light colour or similar	JS James Hardie STRIA 325 Lightweight Cladding Paint finish	JA1 James Hardie Axon 133 Lightweight Cladding Paint finish	JA James Hardie Axon 400 Lightweight Cladding Paint finish	JE James Hardie Easylap Lightweight Cladding Paint Finish	RH Textured render finish	GD Garage Door Sectional panel lift																														
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="10">COLOUR SCHEDULE</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> <td style="text-align: center;"></td> </tr> <tr> <td style="text-align: center;">Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar</td> <td style="text-align: center;">Windows Obscure glazing</td> <td style="text-align: center;">Roofs Colorbond Colour - Surfist or similar</td> <td style="text-align: center;">Fascia & Gutters Colour - Monument or similar</td> <td style="text-align: center;">Colour -01 Shale Grey or similar</td> <td style="text-align: center;">Colour -02 Surfist or similar</td> <td style="text-align: center;">Colour -03 Monument or similar</td> <td style="text-align: center;">Colour -04 Basalt or similar</td> <td style="text-align: center;">Colour -05 Terrain or similar</td> <td style="text-align: center;">Coloured Concrete Driveways Monument color or similar</td> </tr> </tbody> </table>								COLOUR SCHEDULE																				Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfist or similar	Fascia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar	Coloured Concrete Driveways Monument color or similar
COLOUR SCHEDULE																																					
Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfist or similar	Fascia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar	Coloured Concrete Driveways Monument color or similar																												



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

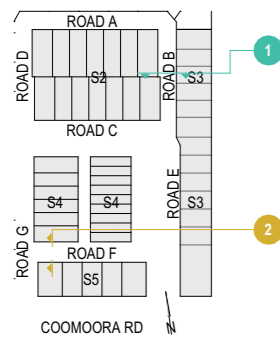


D01 OVERLOOKING LOTS 18/57



D02 OVERLOOKING LOTS 35/34

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 15 of 66
 Greater Dandenong City Council



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

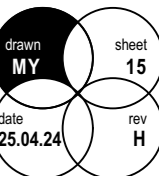
project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

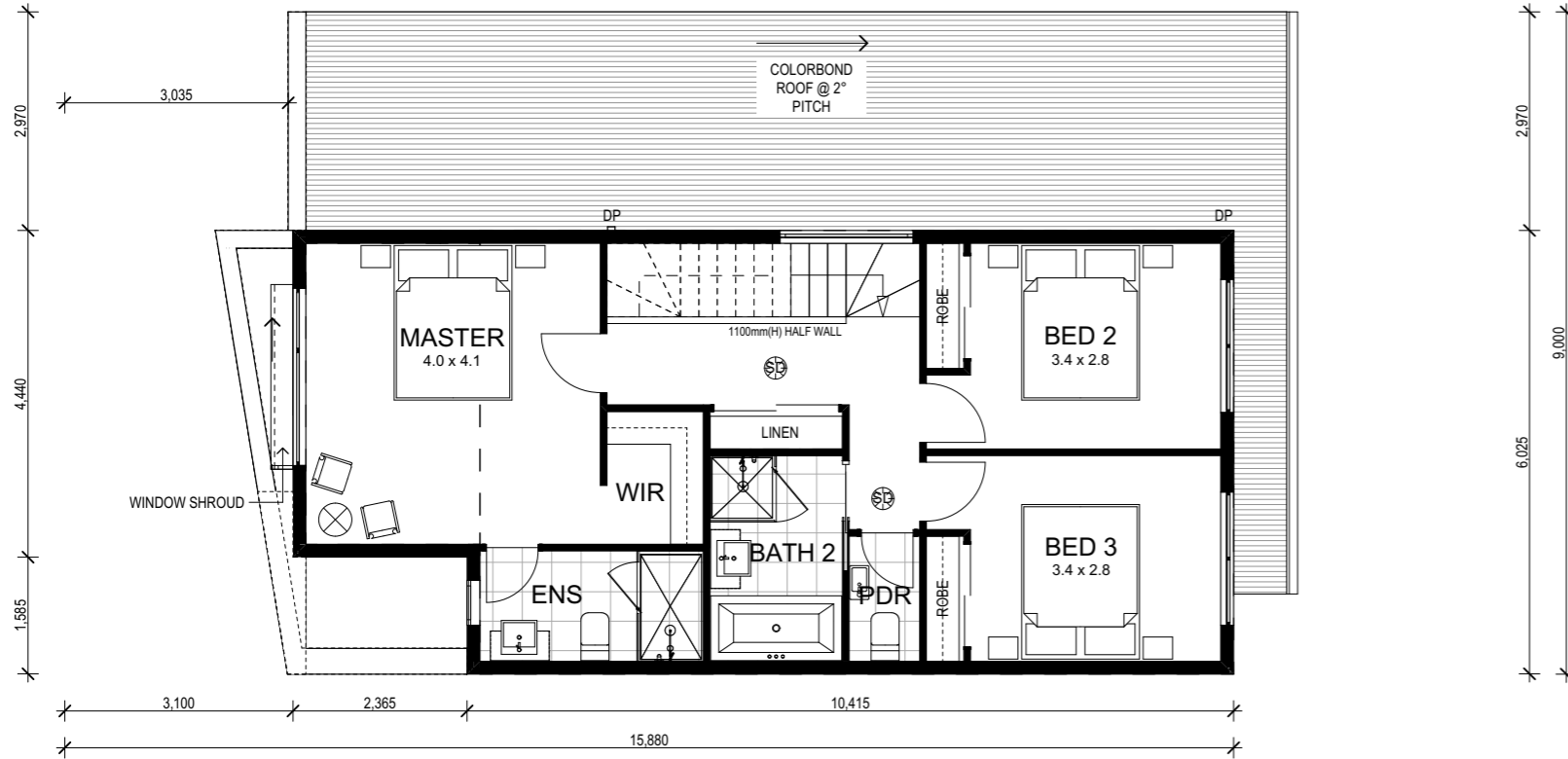
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:200@A3

drawing name
OVERLOOKING SECTIONS

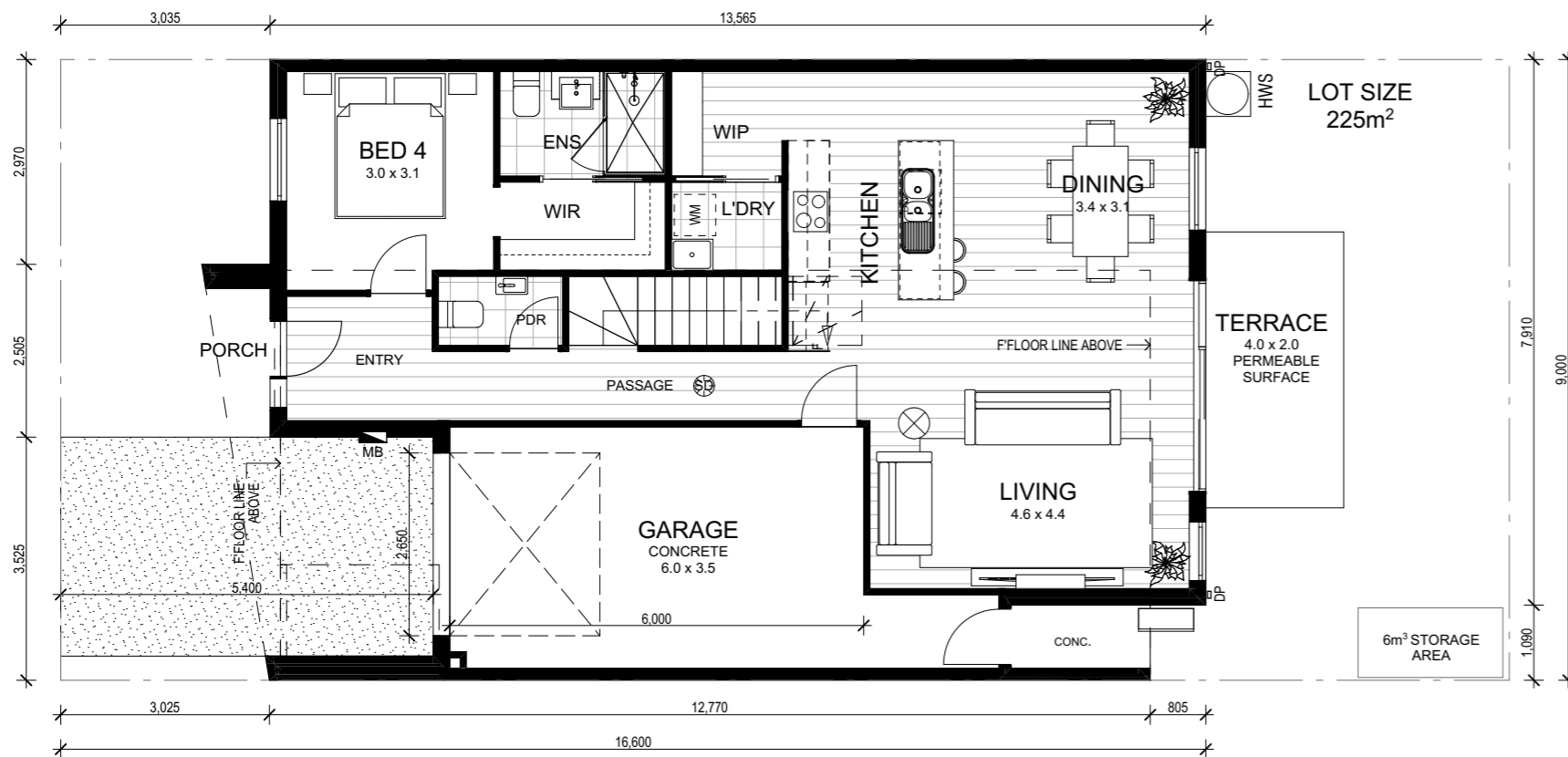




D01 FIRST FLOOR PLAN



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN

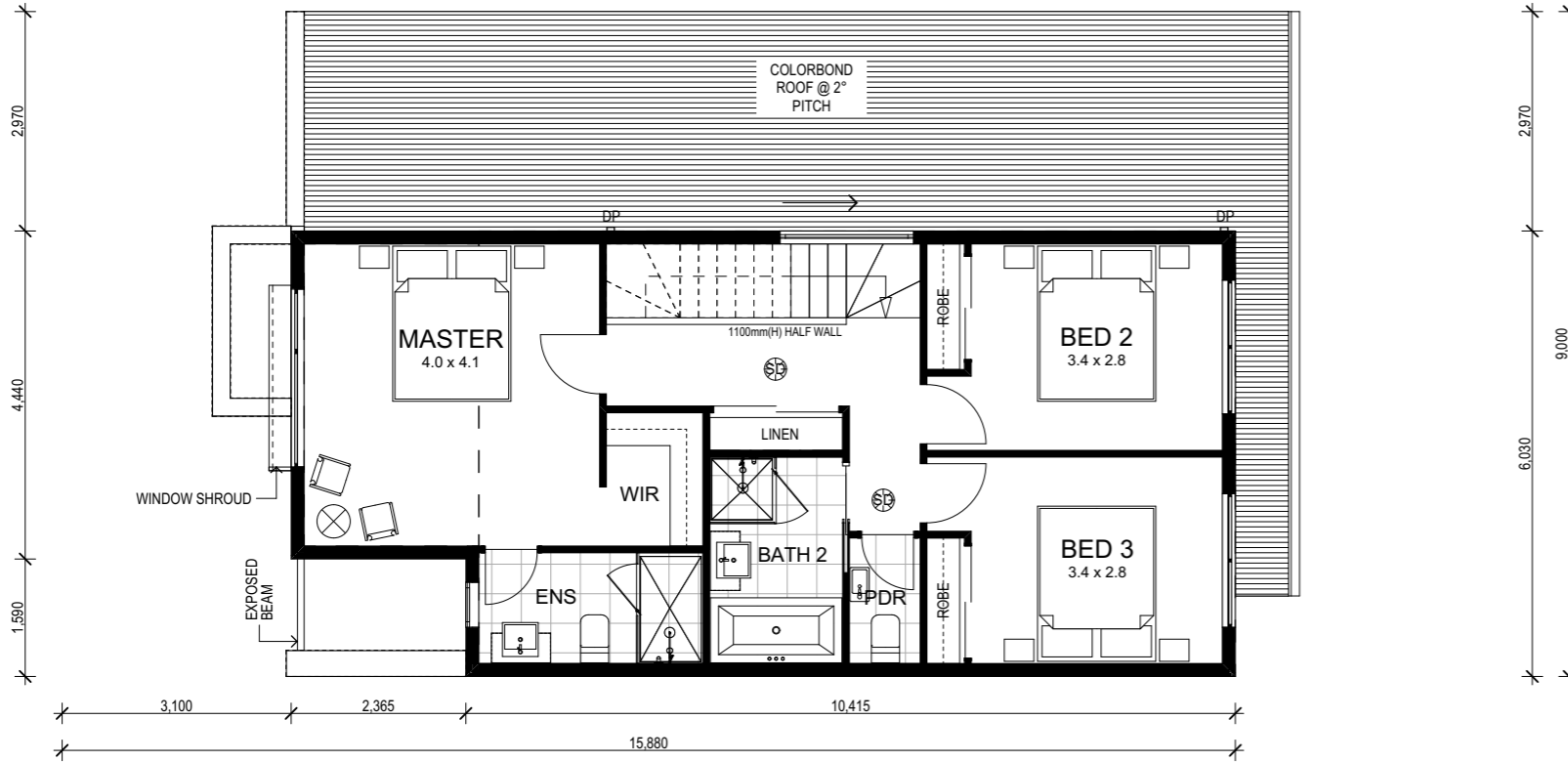


D05 REAR ELEVATION

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 16 of 66
 Greater Dandenong City Council

AREA TYPE A - F1	
	AREA
GROUND FLOOR	85.42
FIRST FLOOR	73.30
GARAGE	26.71
PORCH	4.10
TOTAL	189.53 m²

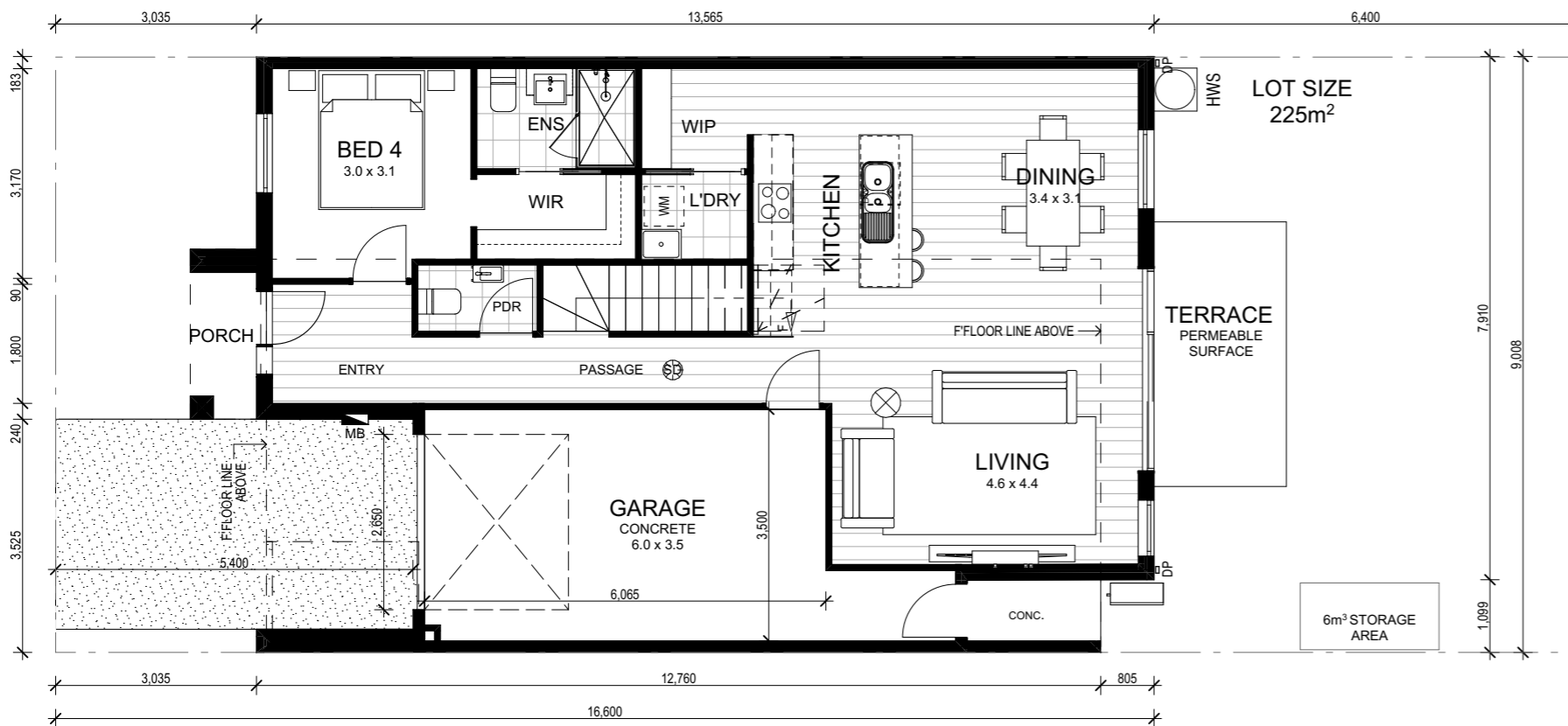
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



D01 FIRST FLOOR PLAN



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN



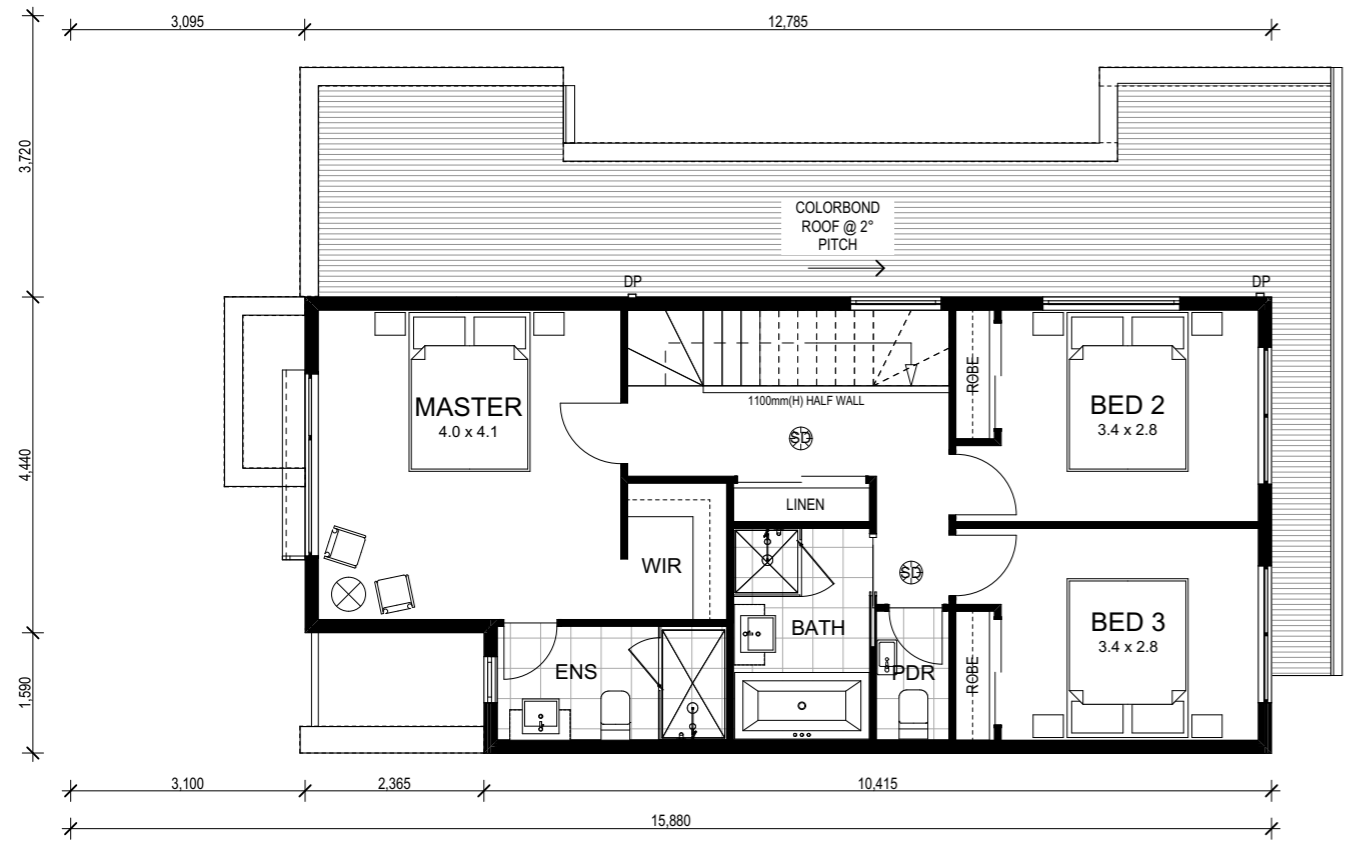
D04 REAR ELEVATION

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 17 of 66
 Greater Dandenong City Council

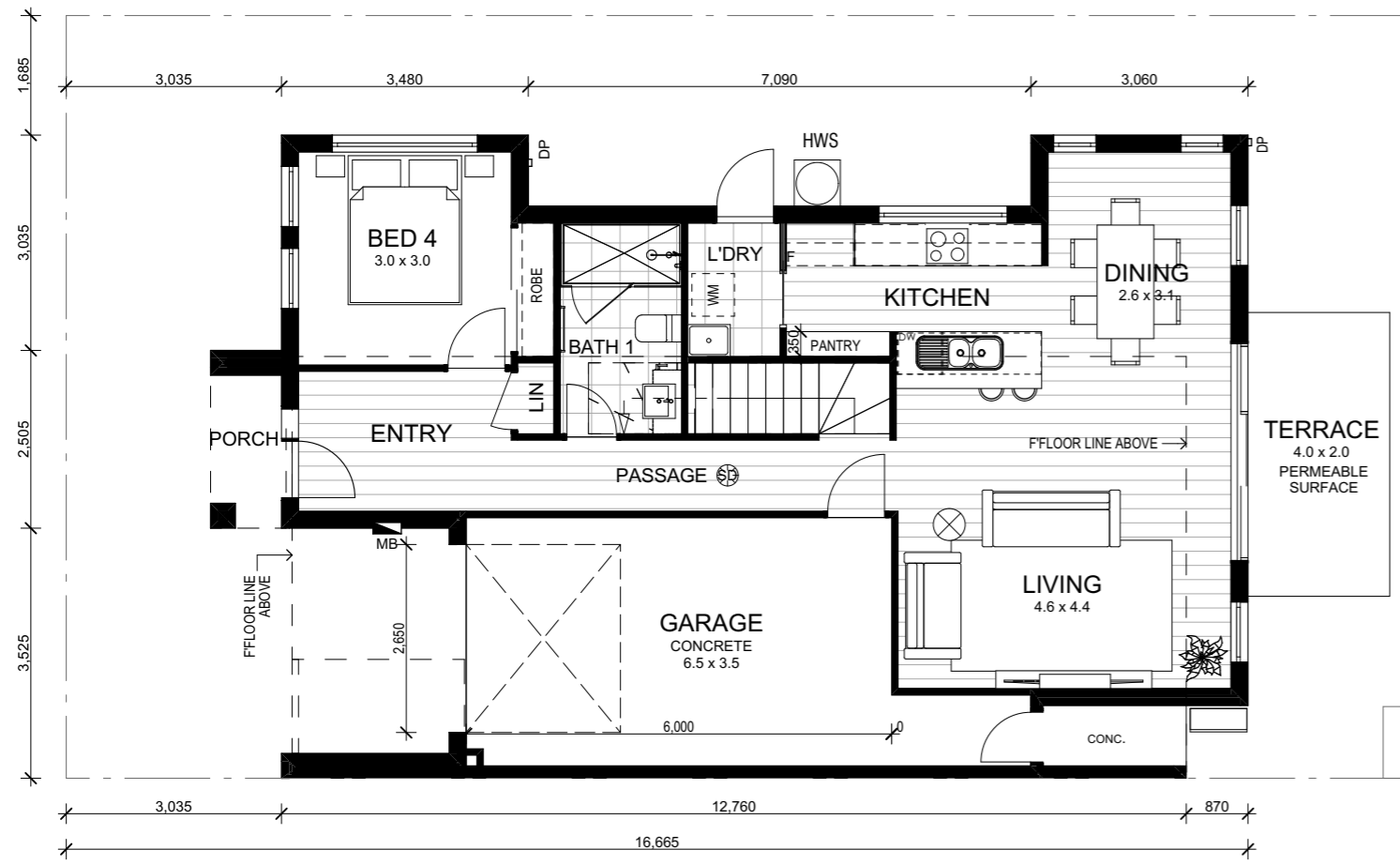
AREA TYPE A - F2	
	AREA
GROUND FLOOR	85.09
FIRST FLOOR	73.30
GARAGE	25.58
PORCH	4.10
TOTAL	188.07 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

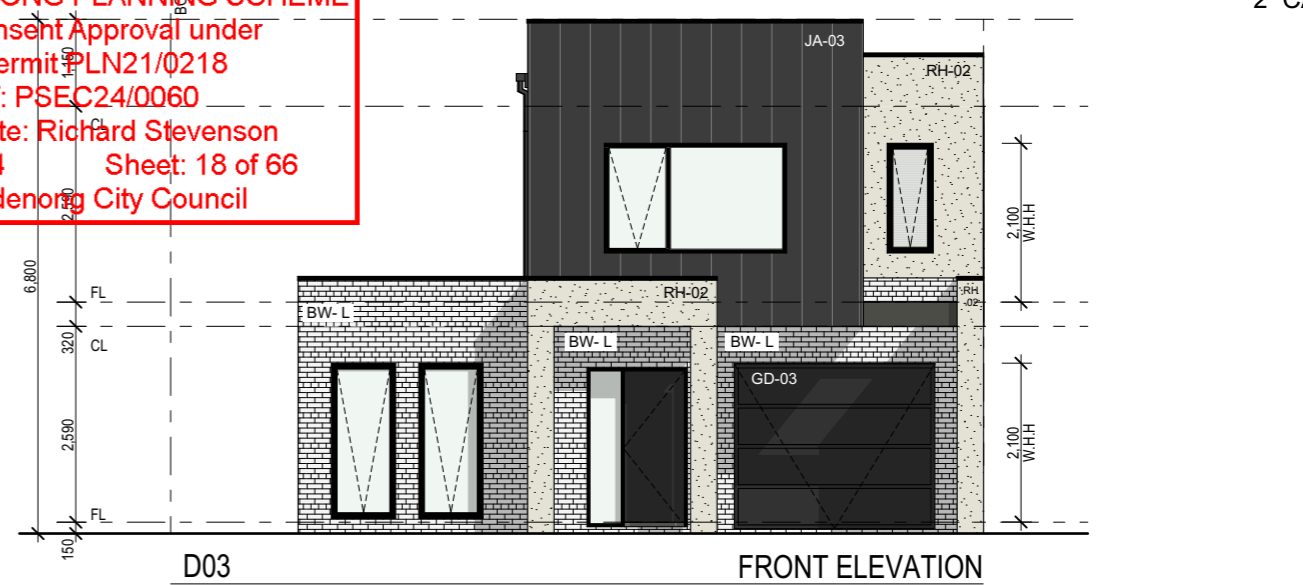
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit: **PLN21/0218**
 CGD Ref: **PSEC24/0060**
 Council Delegate: **Richard Stevenson**
 Date: **19/06/2024** Sheet: **18 of 66**
 Greater Dandenong City Council



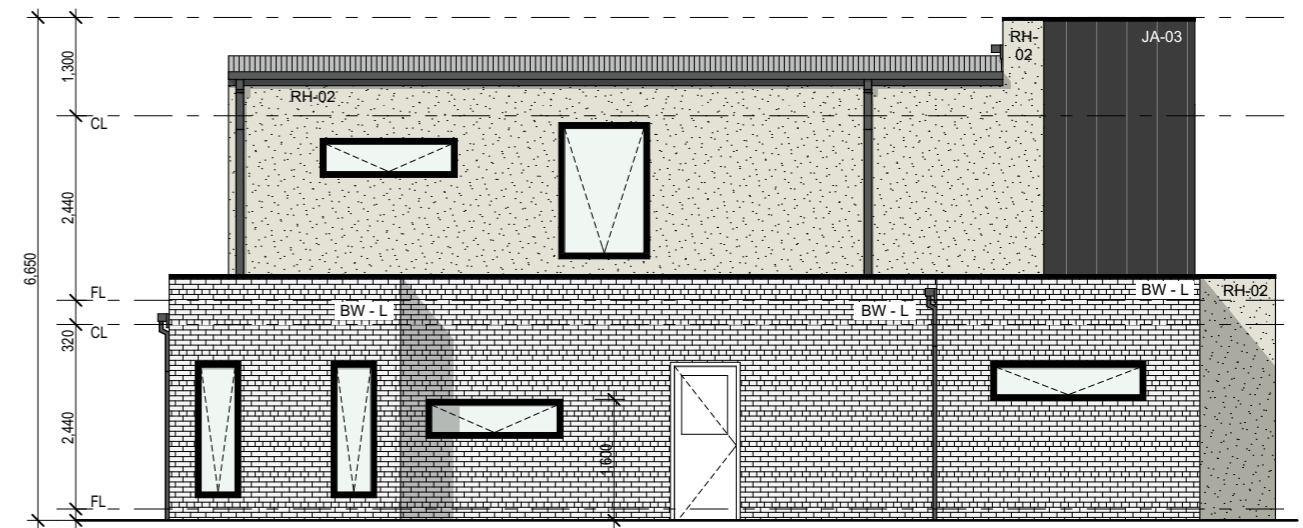
D01 FIRST FLOOR PLAN



D02 GROUND FLOOR PLAN



D03 FRONT ELEVATION



D04 LEFT ELEVATION



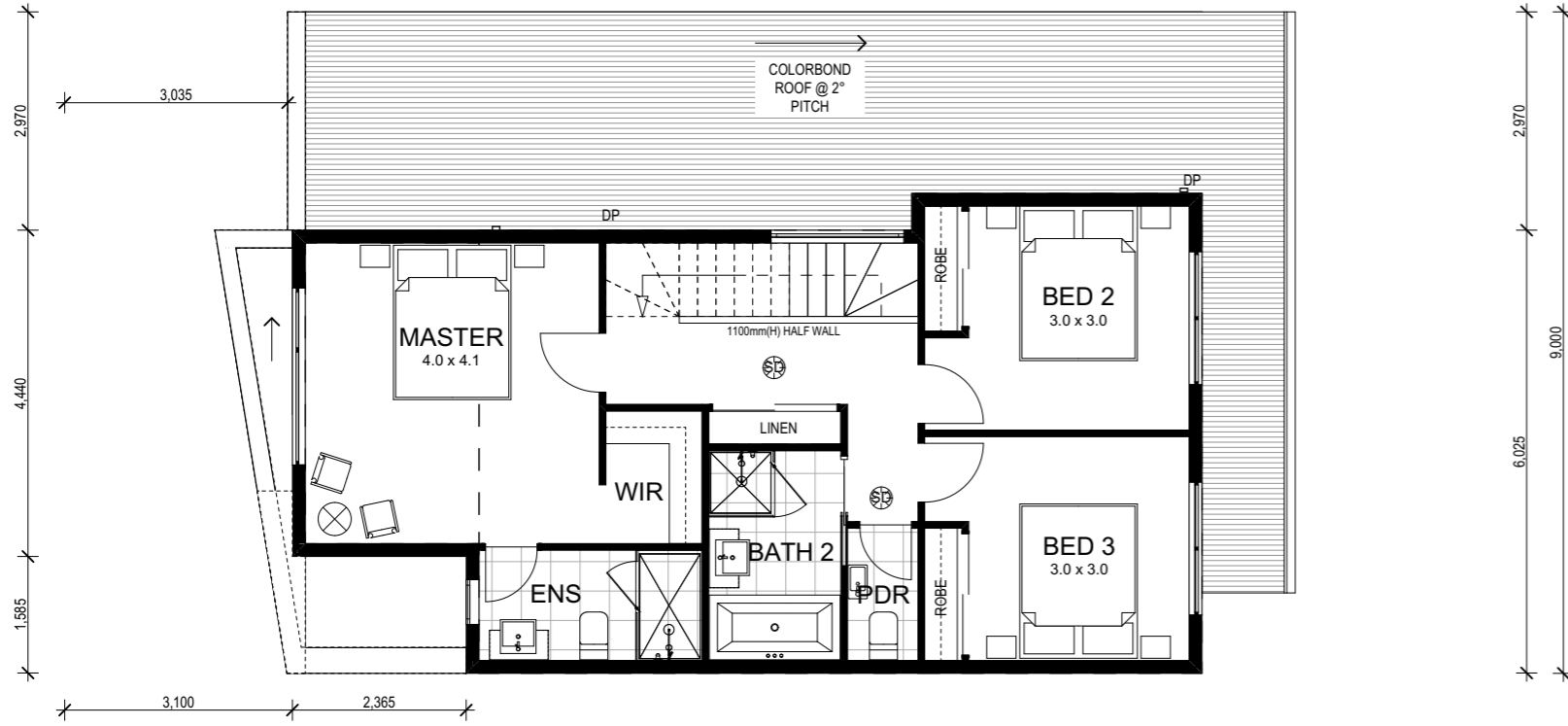
D05 REAR ELEVATION

AREA TYPE A - CORNER	
	AREA
GROUND FLOOR	80.08
FIRST FLOOR	72.98
GARAGE	26.55
PORCH	4.10
TOTAL	183.71 m²

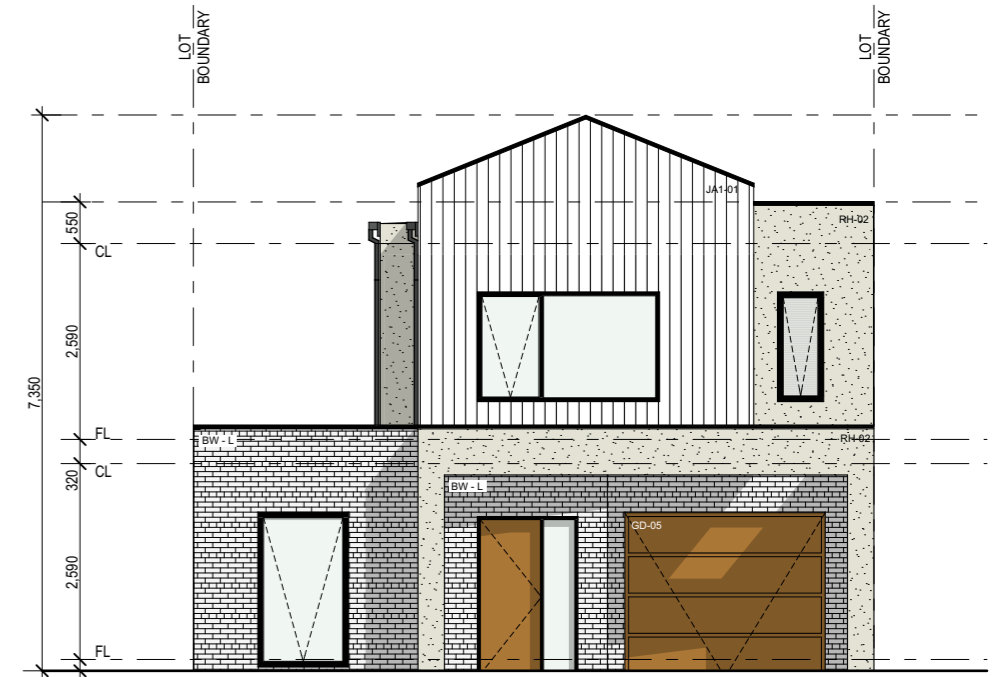
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

4 BEDS
3 BATHS
2 CARS

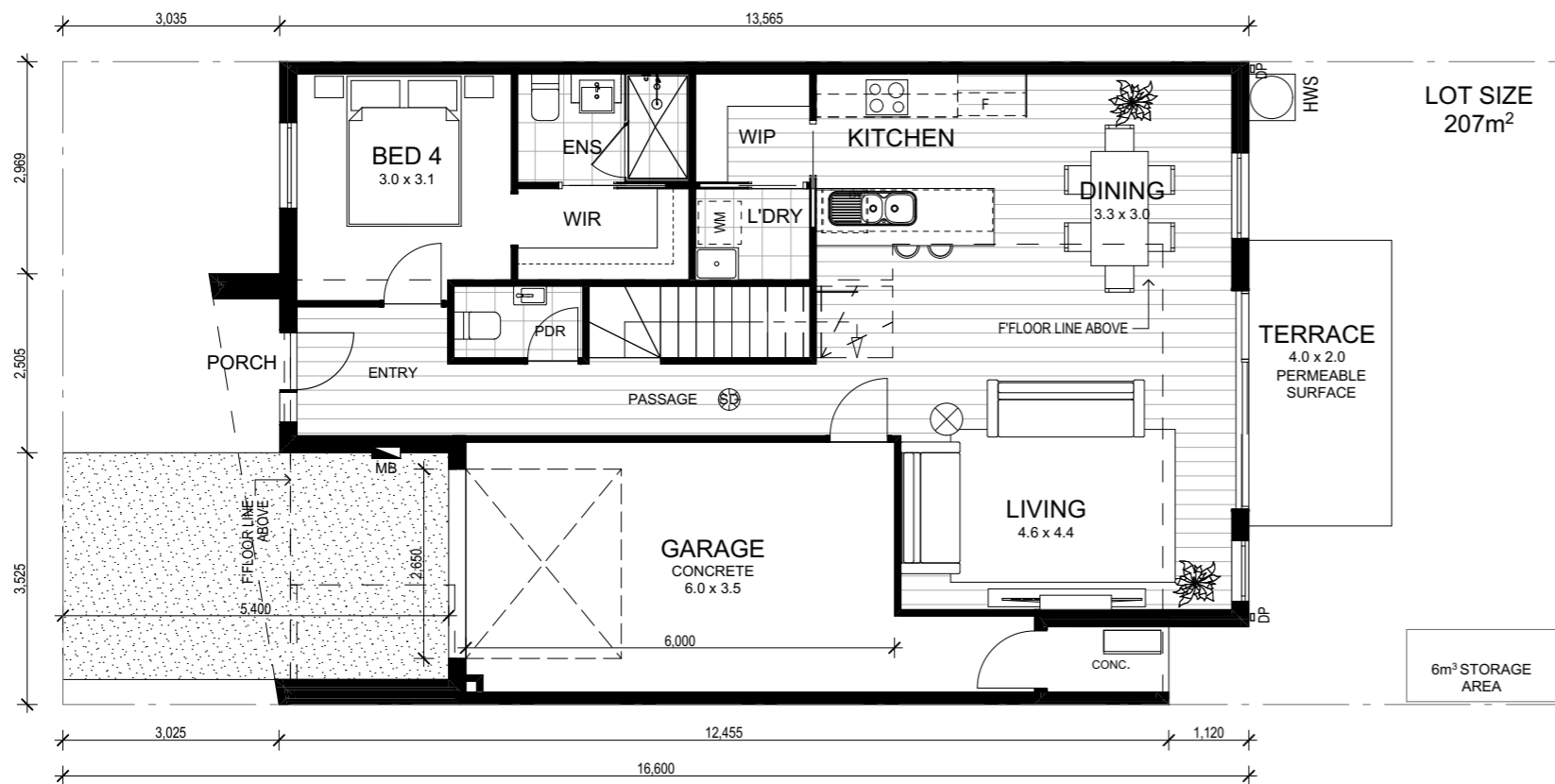
LOTS 51, 53 AND 55



D01 -TYPE A SHORT F1- FIRST FLOOR



D03 FRONT ELEVATION



D02 -TYPE A SHORT F1- GROUND FLOOR



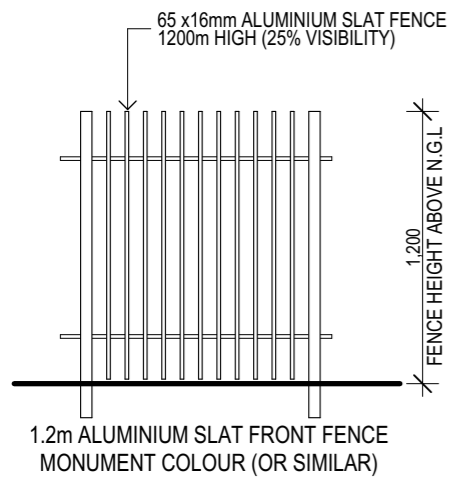
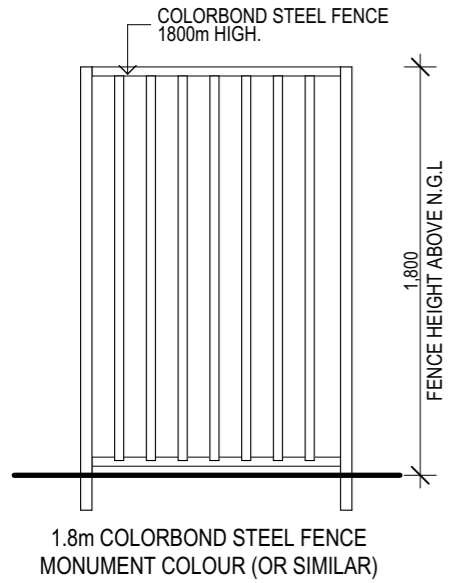
D05 REAR ELEVATION

GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 20 of 66
Greater Dandenong City Council

AREA TYPE A SHORT - F1	
	AREA
GROUND FLOOR	85.42
FIRST FLOOR	72.87
GARAGE	26.65
PORCH	4.10
TOTAL	189.04 m²

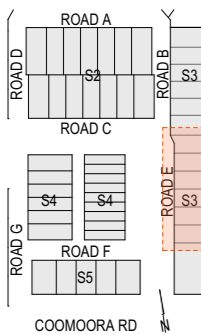
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

NOTE:
 1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE
 CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

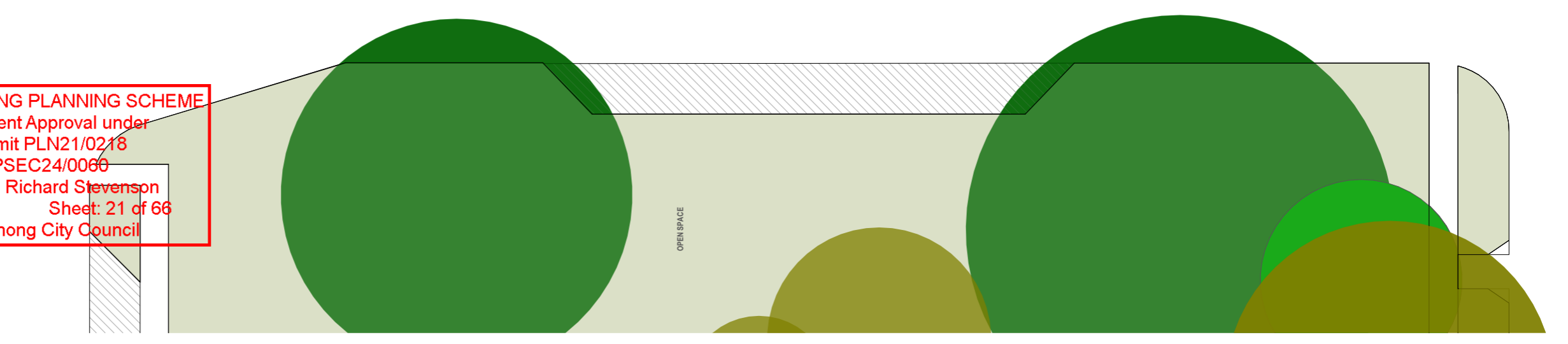
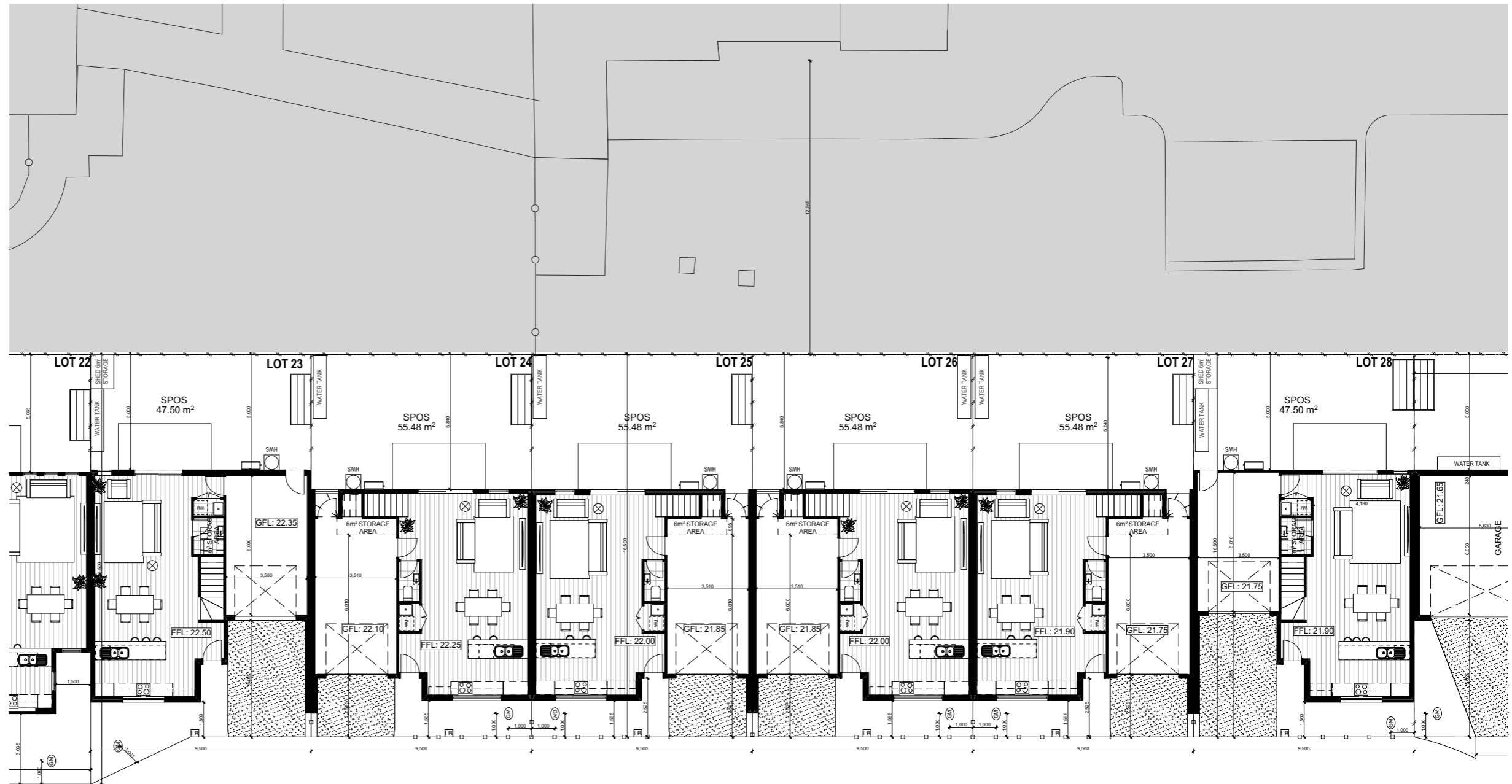


FENCING LEGEND

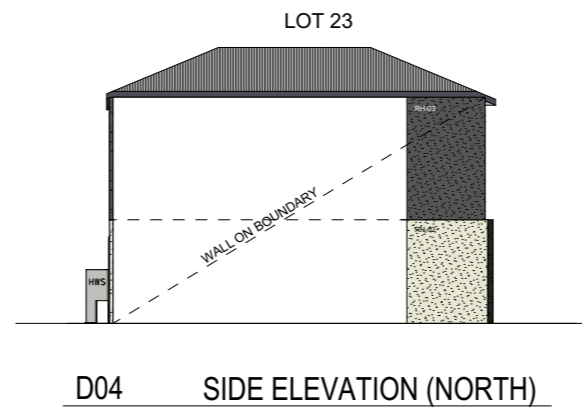
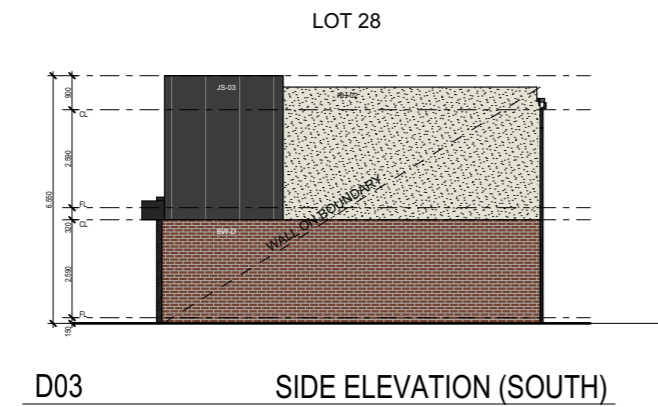
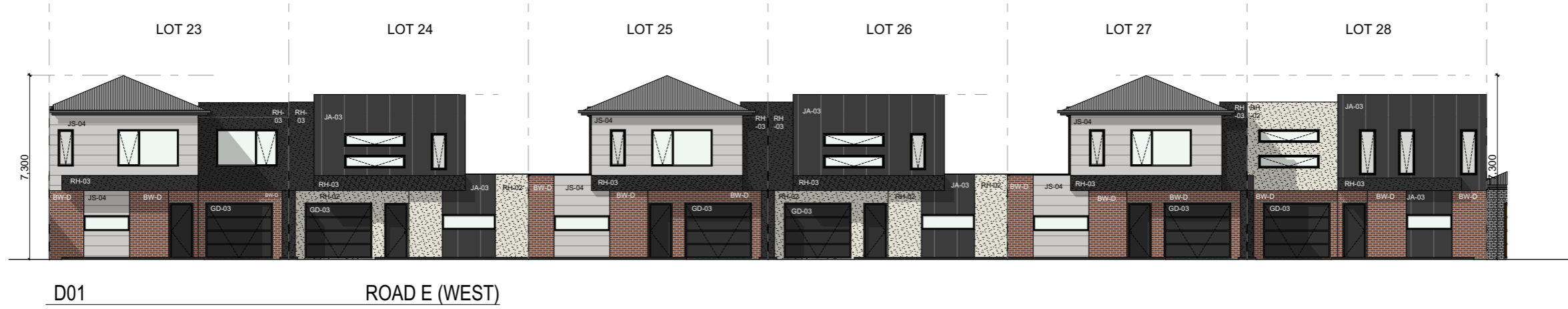
- 1.2m HIGH ALUMINIUM
FRONT FENCE
25% PERMEABILITY
- //—//— 1.8m HIGH COLORBOND
FENCE



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0066
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 21 of 66
 Greater Dandenong City Council



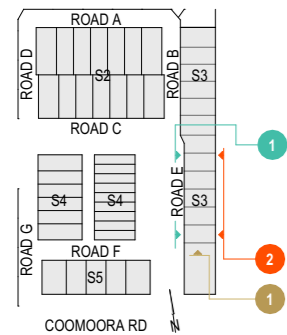
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 24 of 66
 Greater Dandenong City Council

NOTE:
ALL HABITABLE ROOM WINDOWS TO BE
DOUBLE GLAZED

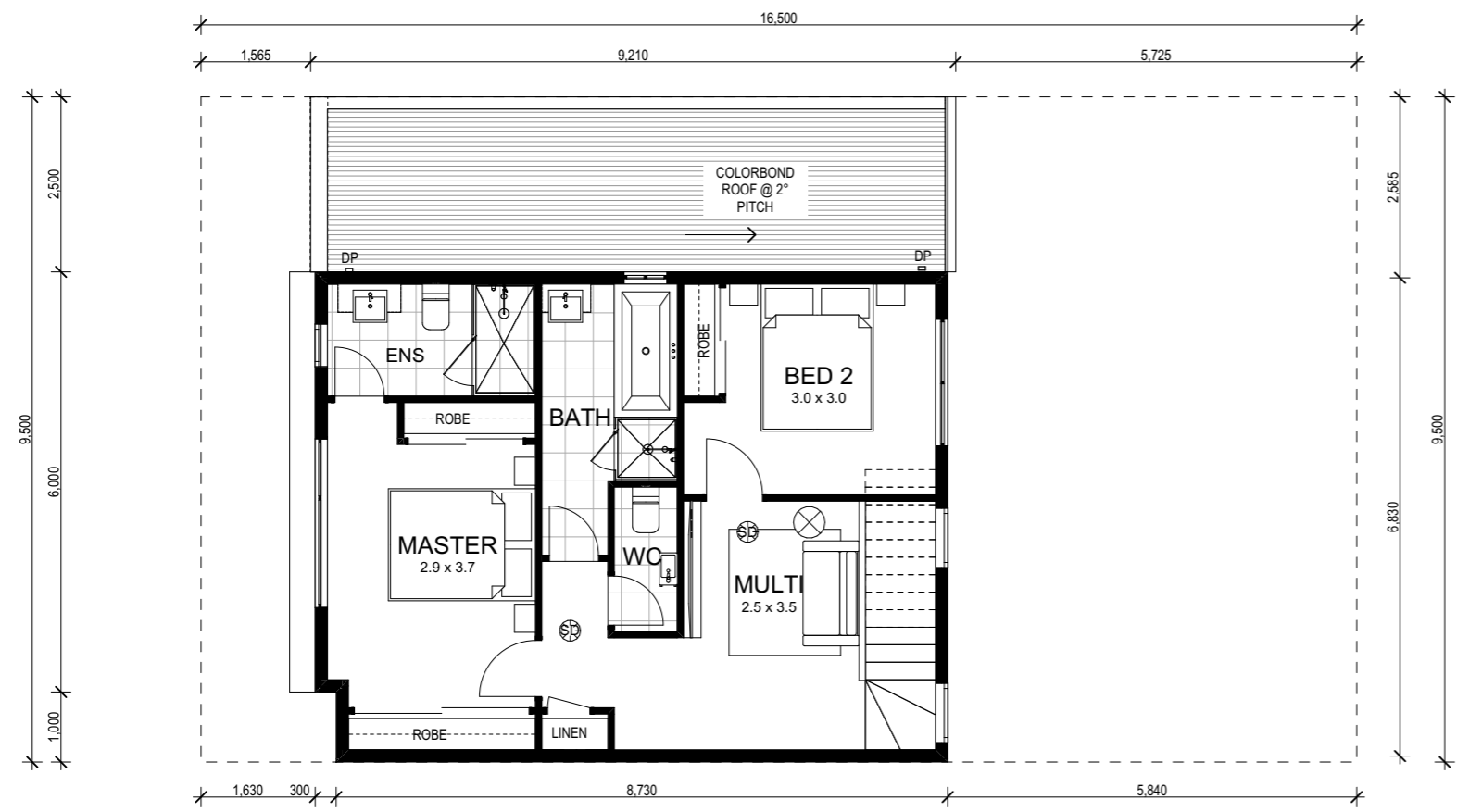
MATERIALS SCHEDULE								COLOURED CONCRETE DRIVEWAYS	
BW Brickwork Dark colour or similar	BW Brickwork Light colour or similar	JS James Hardie STRIA 325 Lightweight Cladding Paint finish	JA1 James Hardie Axon 133 Lightweight Cladding Paint finish	JA James Hardie Axon 400 Lightweight Cladding Paint finish	JE James Hardie Easylap Lightweight Cladding Paint Finish	RH Textured render finish	GD Garage Door Sectional panel lift		
COLOUR SCHEDULE									
Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfmist or similar	Fascia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfmist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar	



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

LOTS 25 and 27

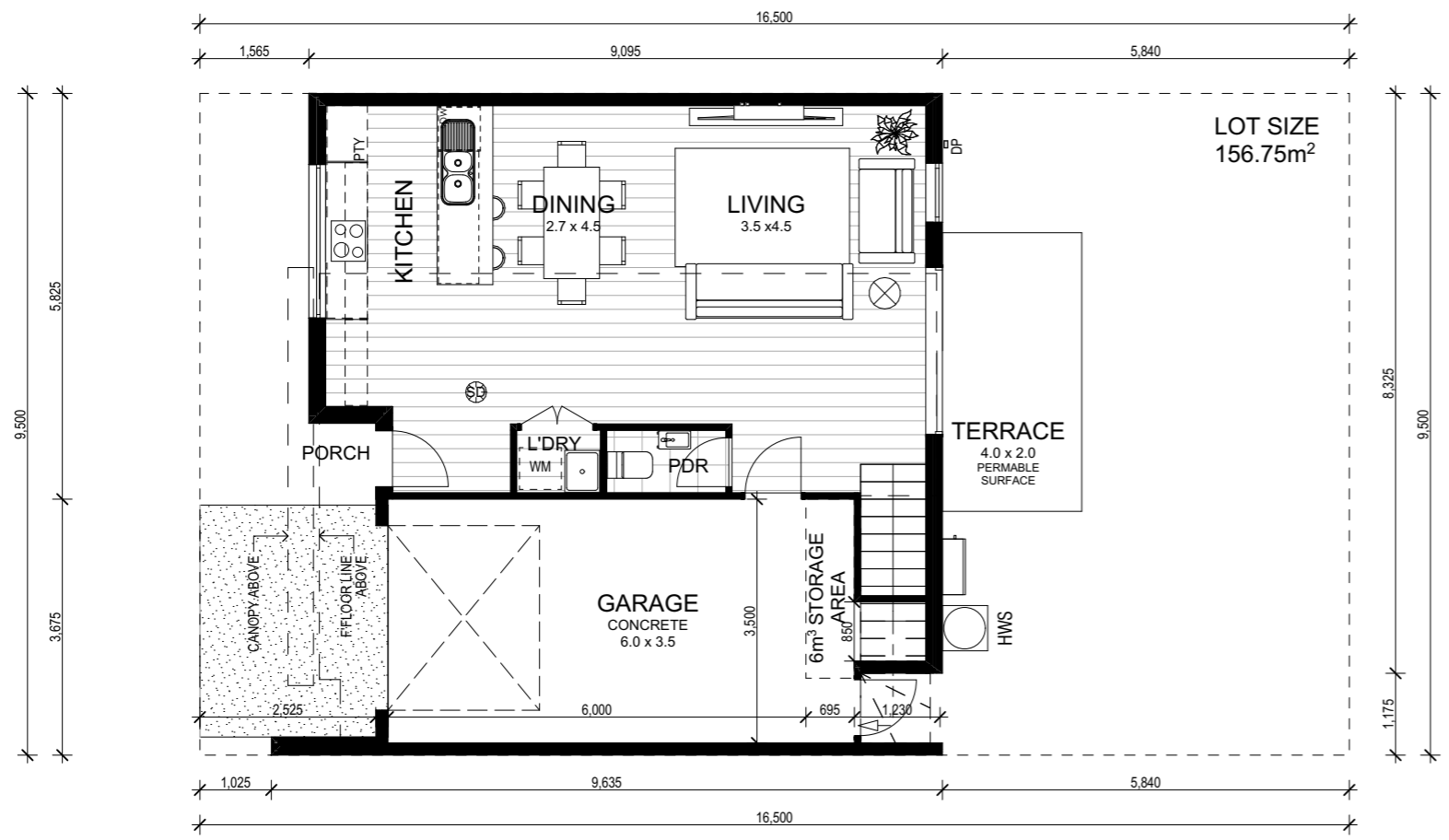
2 BEDS
2 BATHS
1 CAR



D01 FIRST FLOOR PLAN



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN

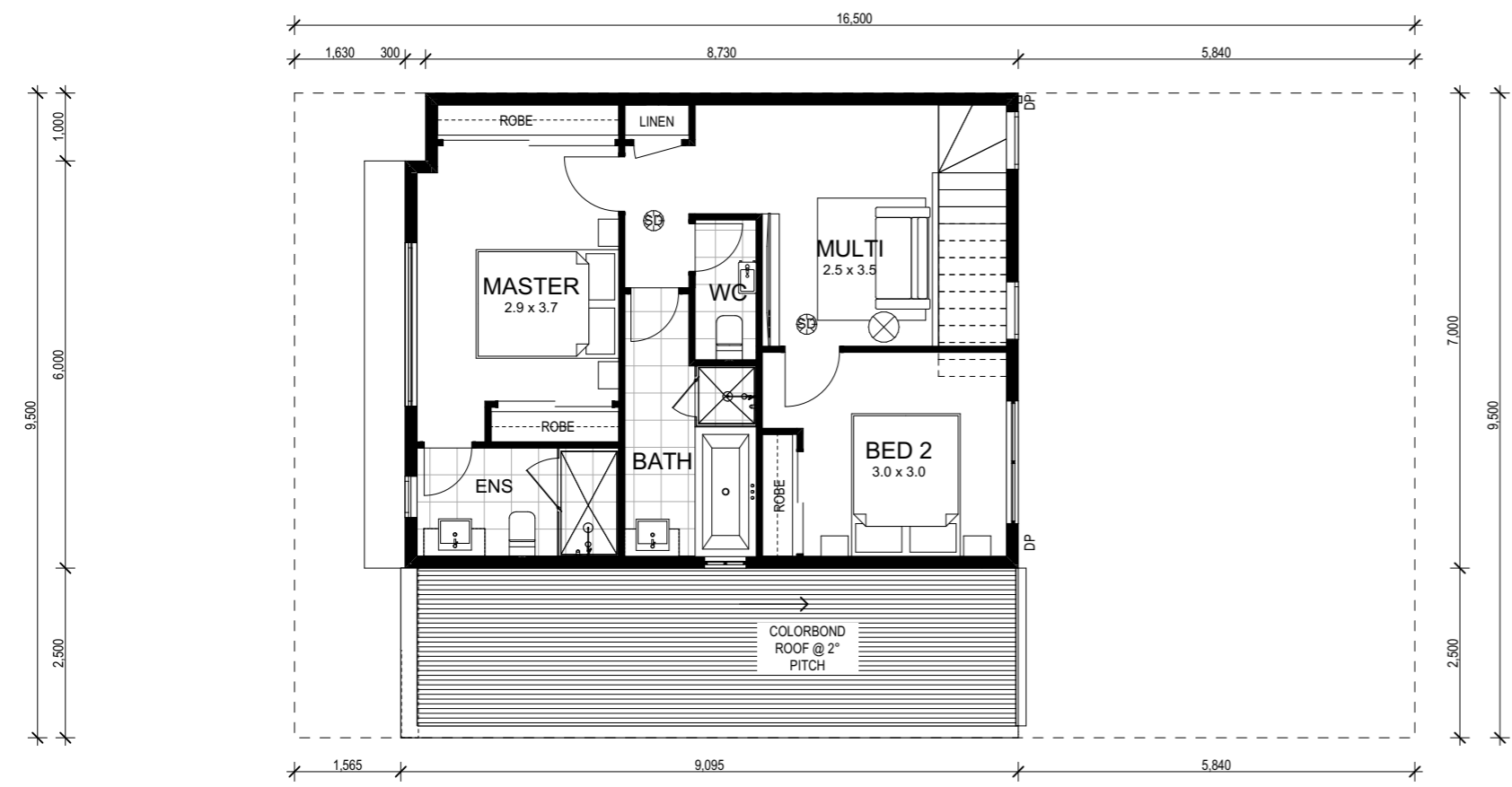


D05 REAR ELEVATION

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 25 of 66
 Greater Dandenong City Council

AREA TYPE B - FACADE 1	
	AREA
GROUND FLOOR	55.76
FIRST FLOOR	62.74
GARAGE	26.24
PORCH	4.10
TOTAL	148.84 m²

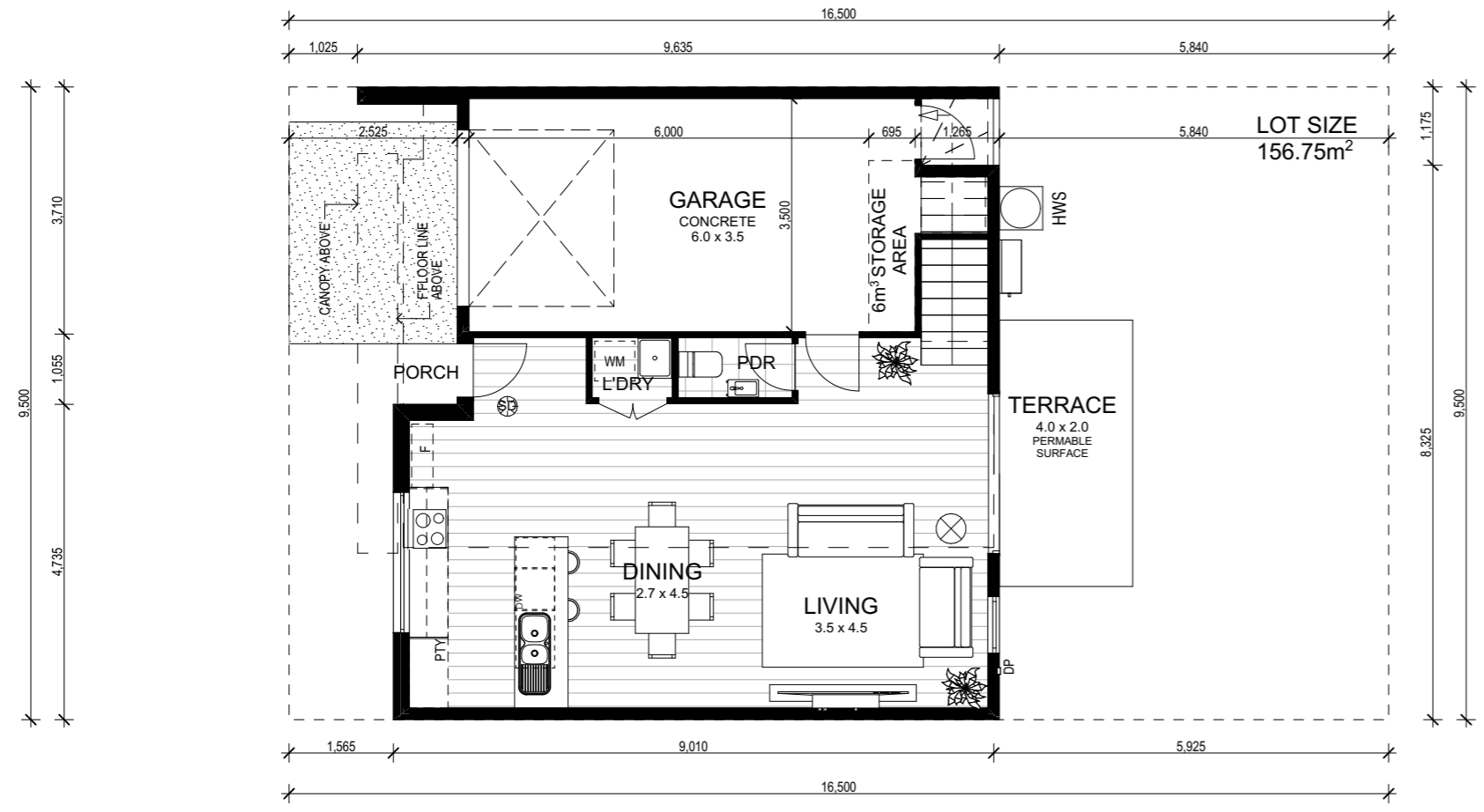
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



D01 FIRST FLOOR PLAN



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN

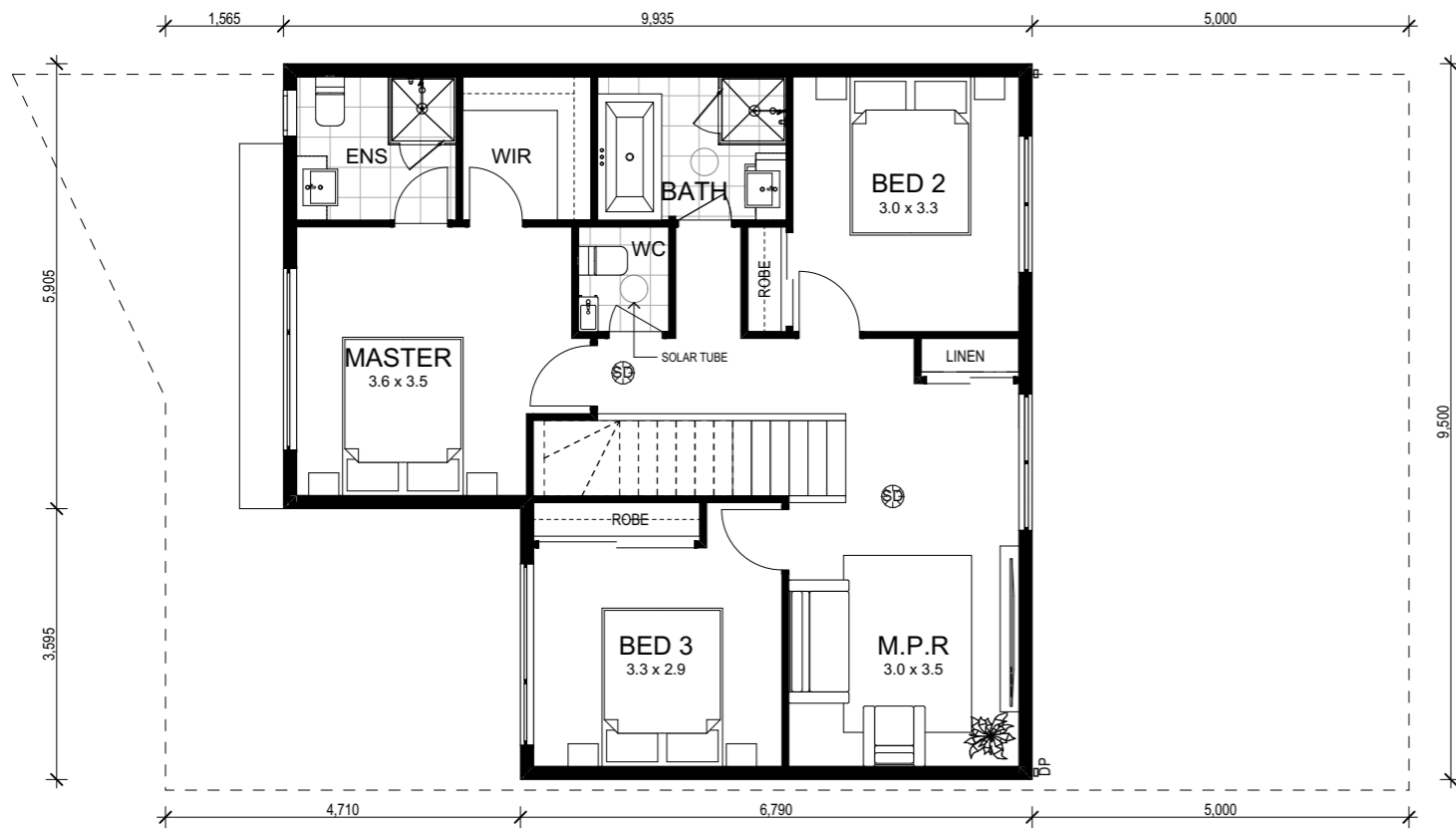


D04 REAR ELEVATION

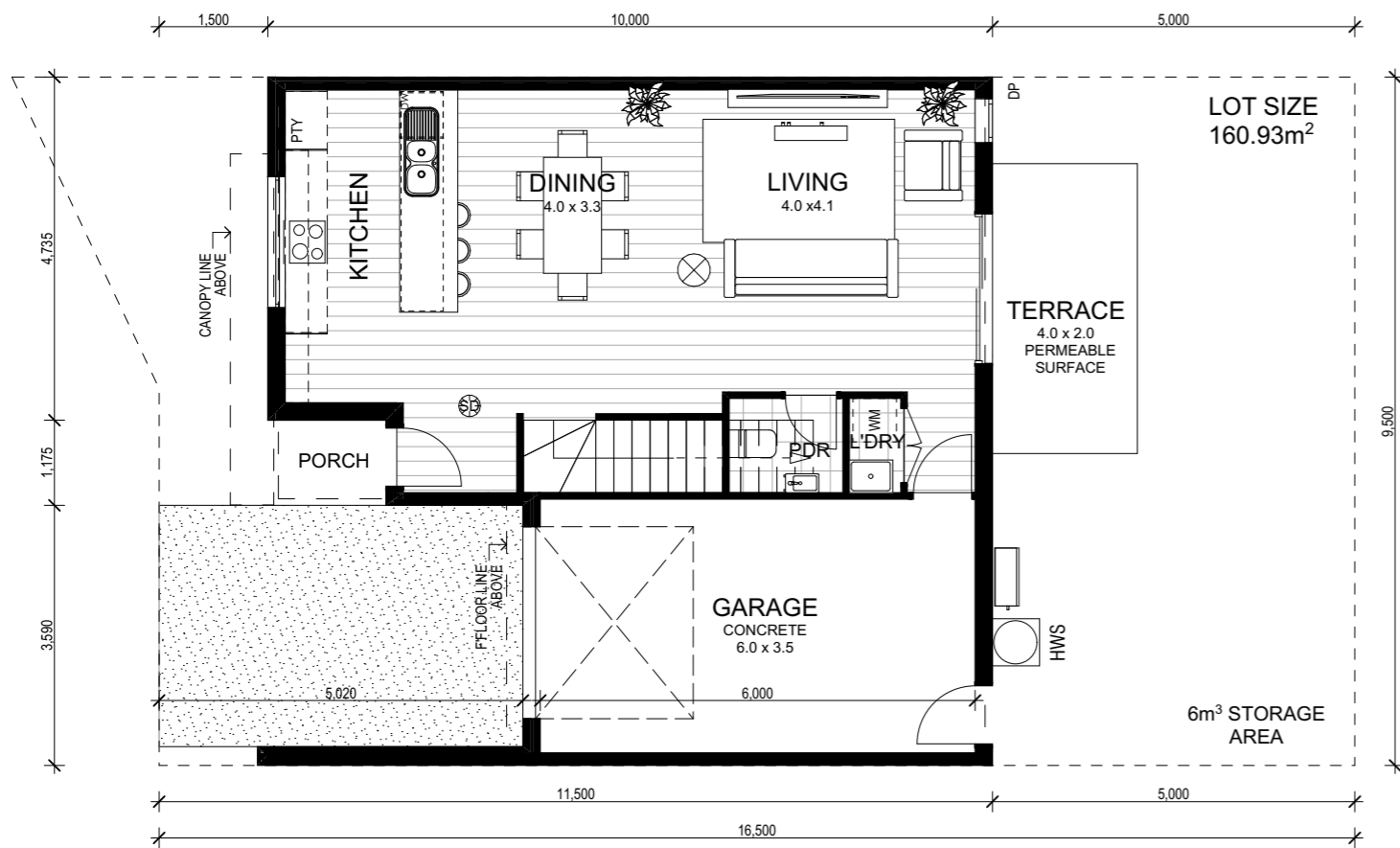
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 26 of 66
 Greater Dandenong City Council

AREA TYPE B - FACADE 2	
	AREA
GROUND FLOOR	55.18
FIRST FLOOR	62.56
GARAGE	26.20
PORCH	4.10
TOTAL	148.04 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24



D01 TYPE BC - F1 - FIRST FLOOR



D02 TYPE BC - F1 - GROUND FLOOR

LOT 23

3 BEDS
2 BATHS
2 CARS



D03 FRONT ELEVATION



D04 REAR ELEVATION

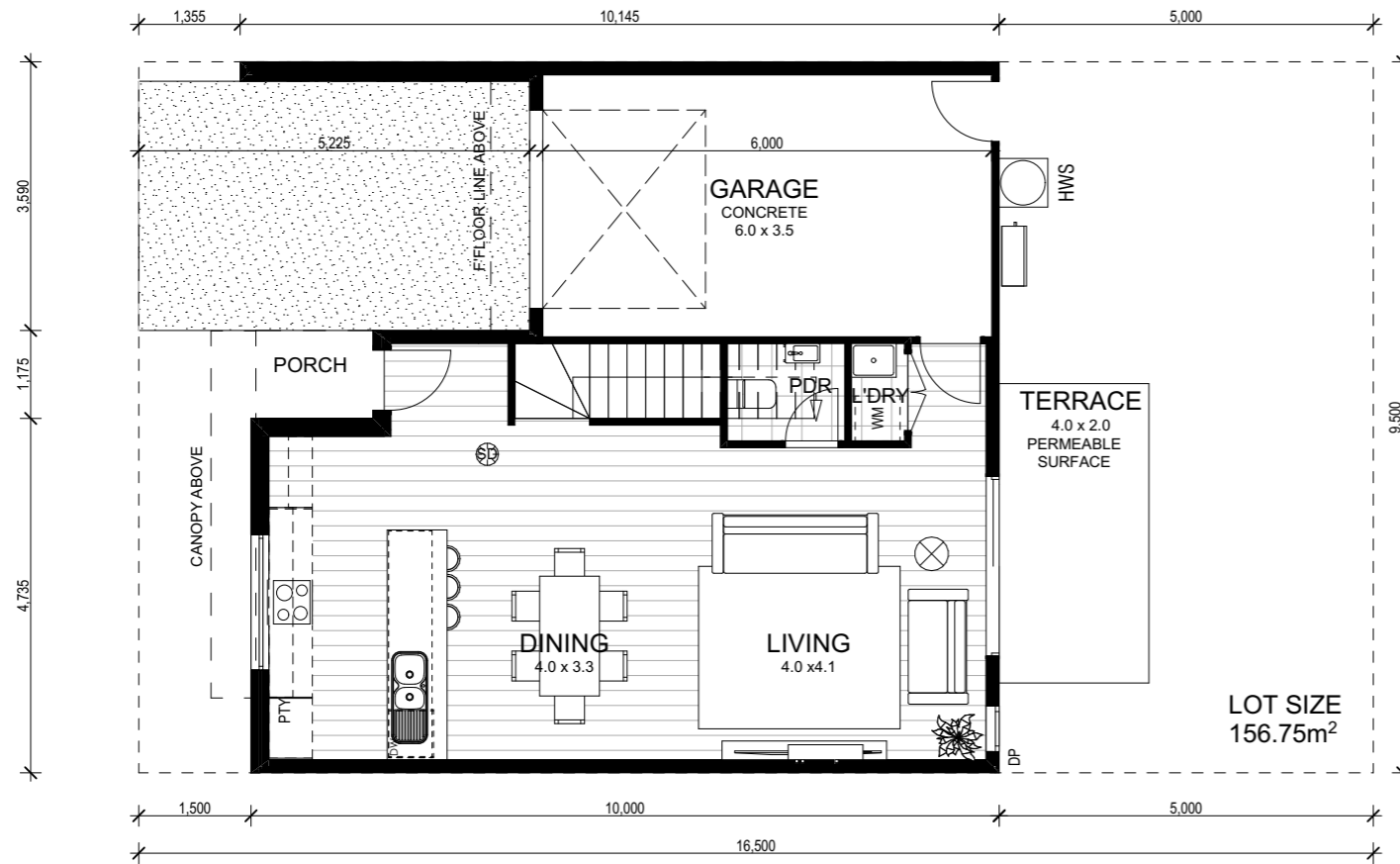
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 27 of 66
 Greater Dandenong City Council

AREA TYPE B - CORNER - FACADE 1	
	AREA
GROUND FLOOR	56.56
FIRST FLOOR	82.04
GARAGE	24.81
PORCH	4.10
TOTAL	167.51 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



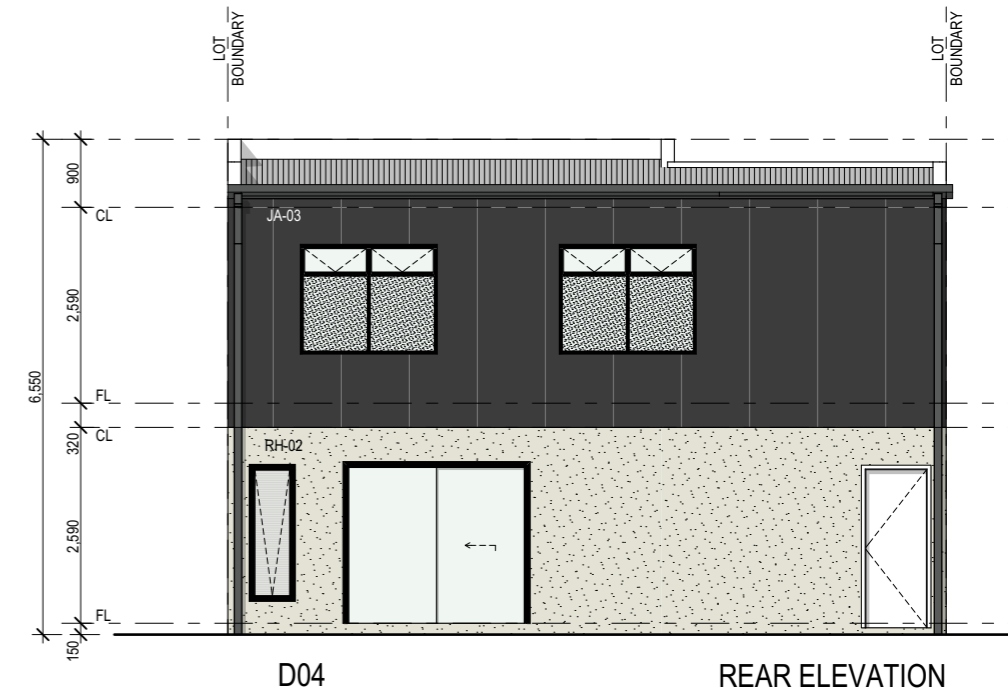
D02 TYPE BC - F2 - FIRST FLOOR



D01 TYPE BC - F2 - GROUND FLOOR



D03 FRONT ELEVATION

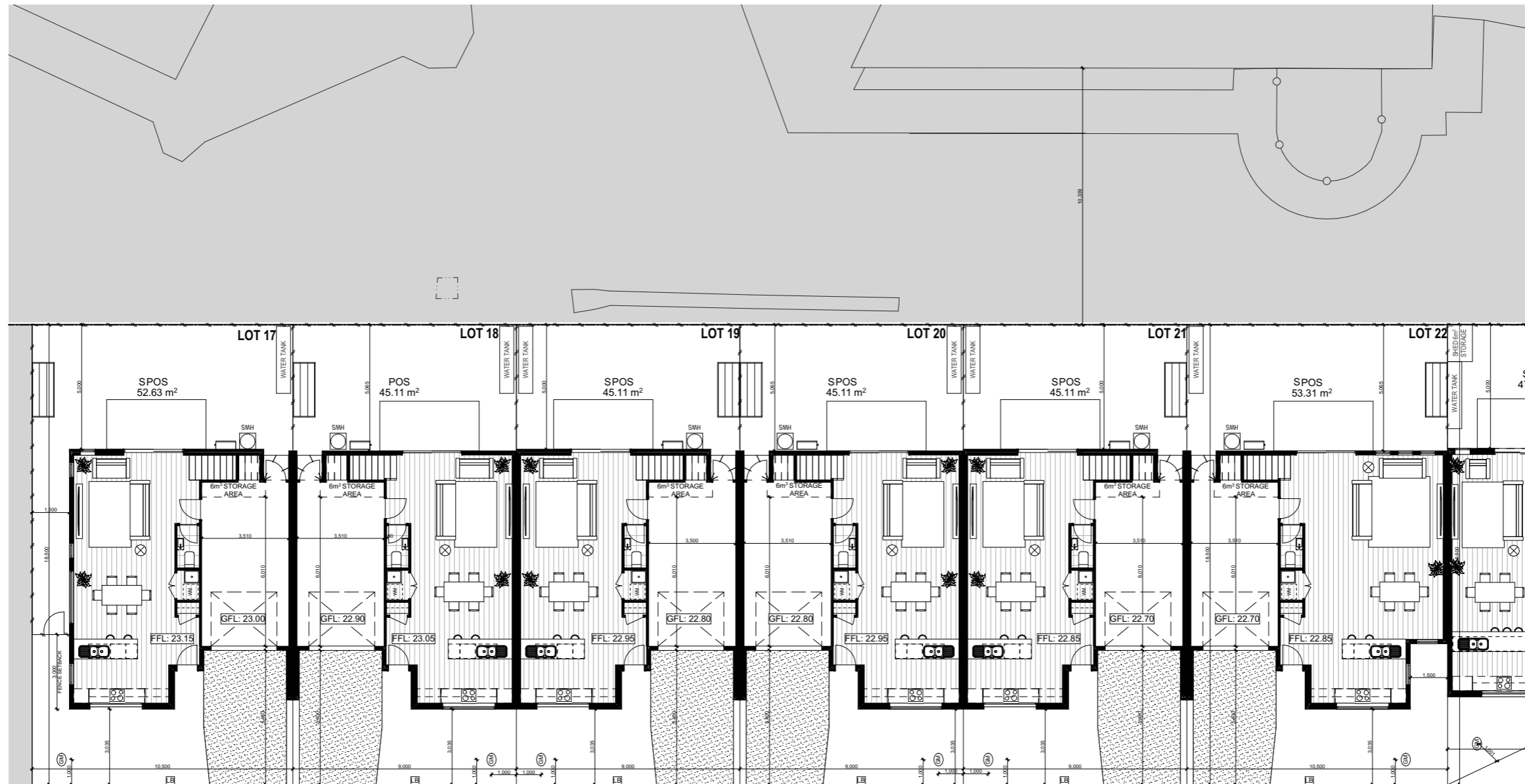


D04 REAR ELEVATION

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 28 of 66
 Greater Dandenong City Council

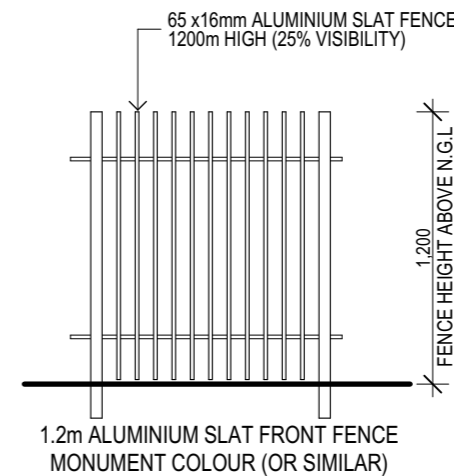
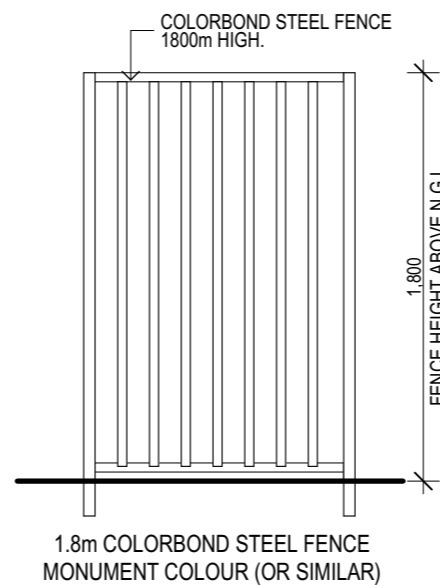
AREA TYPE B - CORNER - FACADE 2	
	AREA
GROUND FLOOR	57.17
FIRST FLOOR	82.50
GARAGE	24.51
PORCH	4.10
TOTAL	168.28 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 29 of 66
 Greater Dandenong City Council

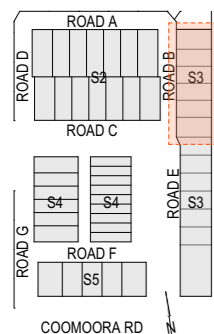
ROAD B



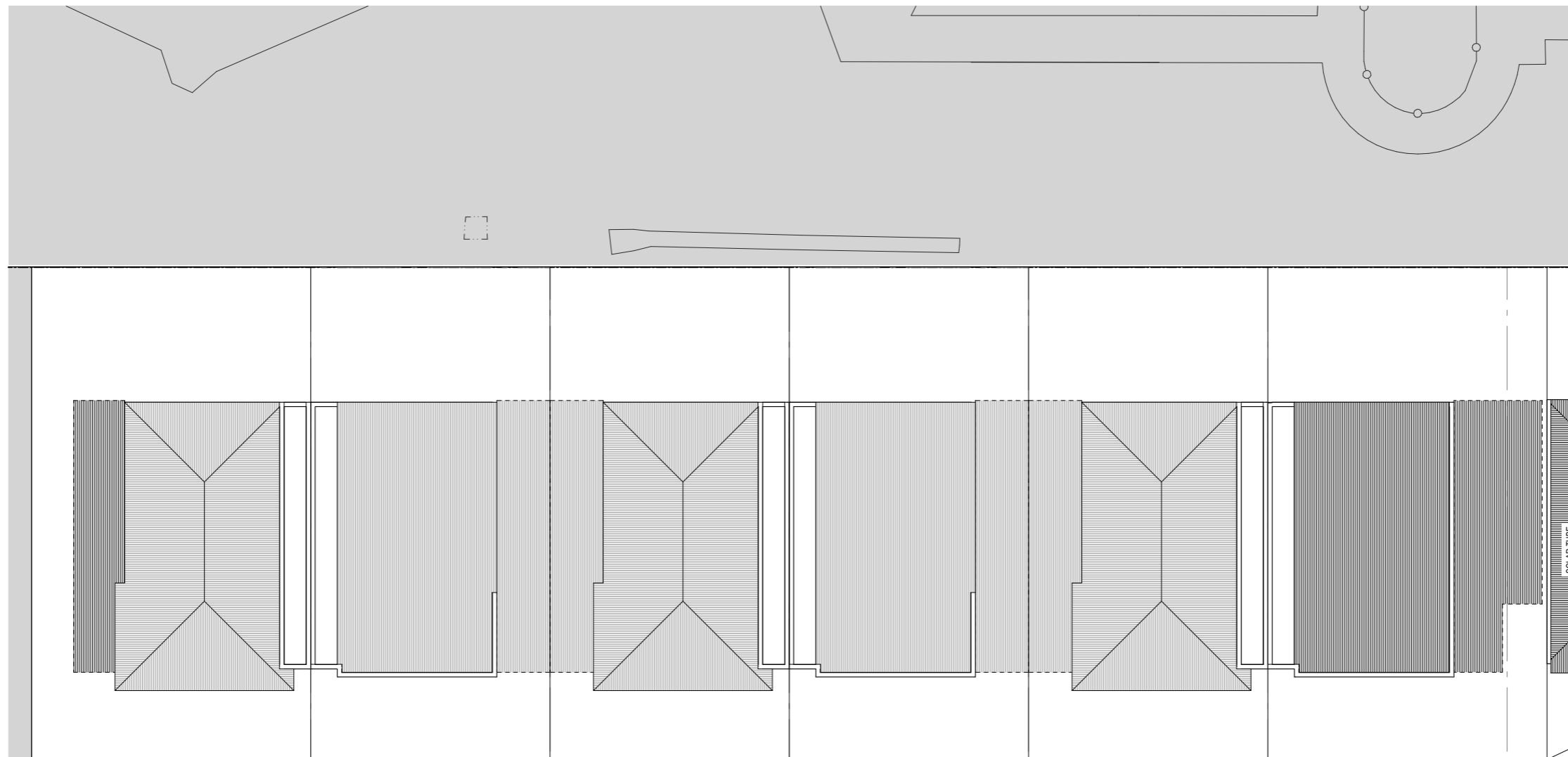
FENCING LEGEND

- 1.2m HIGH ALUMINIUM FRONT FENCE
- 25% PERMEABILITY
- 1.8m HIGH COLORBOND FENCE

NOTE:
1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

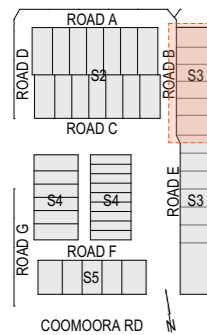


rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



ROAD B

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 31 of 66
 Greater Dandenong City Council



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

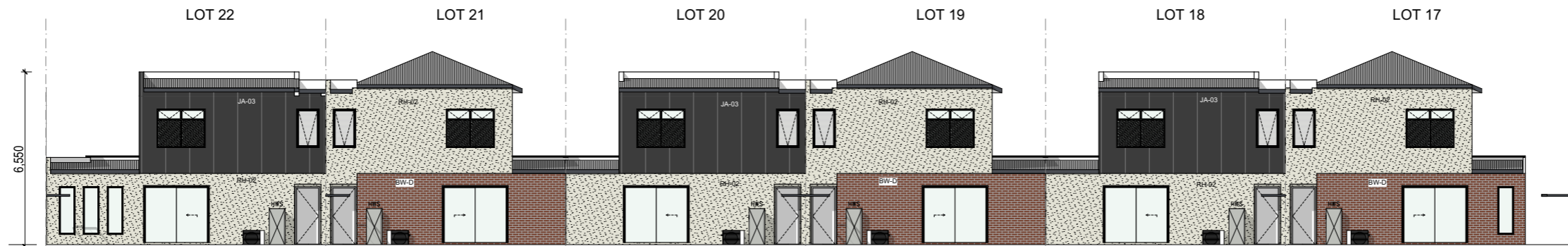
project no. estate scale
 1:200@A3

drawing name
CASSIA (S3)- ROOF PLAN

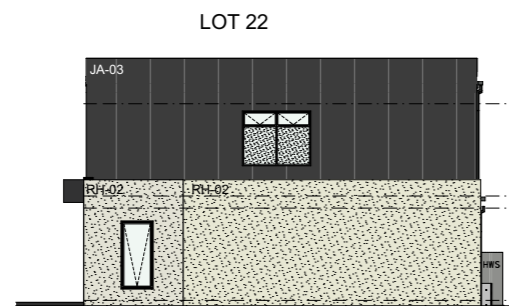
drawn MY	sheet 31
date 25.04.24	rev H



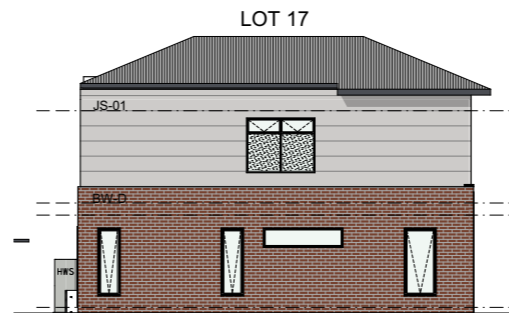
D01 ROAD B (WEST)



D02 REAR ELEVATION (EAST)



D03 SIDE ELEVATION (SOUTH)

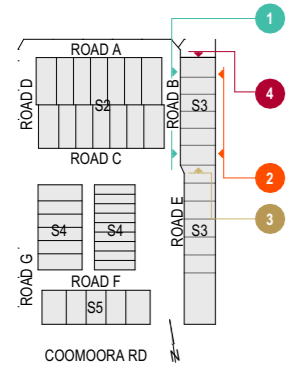


D04 SIDE ELEVATION (NORTH)

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 32 of 66
 Greater Dandenong City Council

NOTE:
ALL HABITABLE ROOM WINDOWS TO BE
DOUBLE GLAZED

MATERIALS SCHEDULE								COLOURED CONCRETE DRIVEWAYS	
BW Brickwork Dark colour or similar	BW Brickwork Light colour or similar	JS James Hardie STRIA 325 Lightweight Cladding Paint finish	JA1 James Hardie Axon 133 Lightweight Cladding Paint finish	JA James Hardie Axon 400 Lightweight Cladding Paint finish	JE James Hardie Easylap Lightweight Cladding Paint Finish	RH Textured render finish	GD Garage Door Sectional panel lift		
COLOUR SCHEDULE									
Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfmist or similar	Fascia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfmist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar	



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

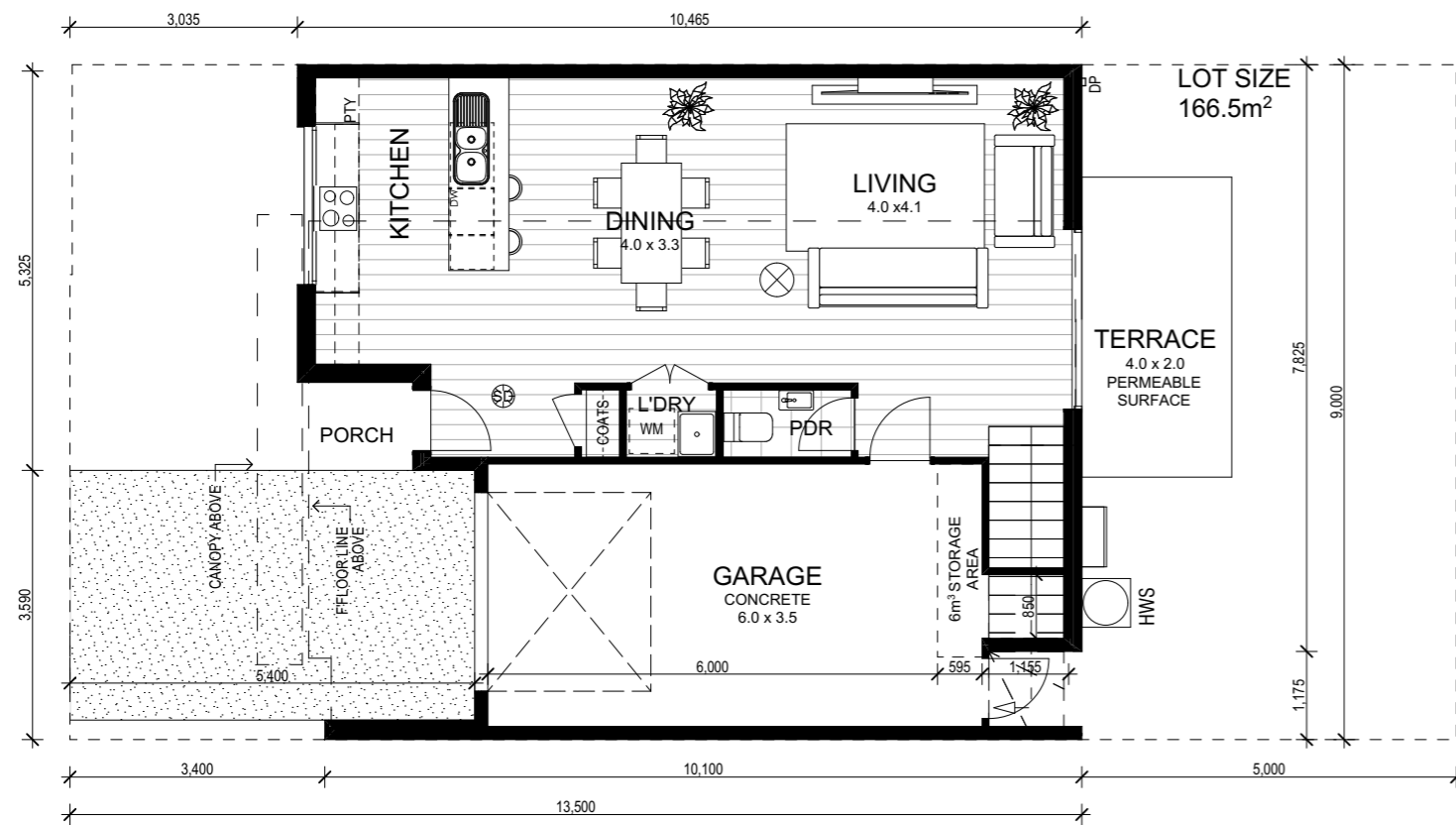


D01 FIRST FLOOR PLAN

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 33 of 66
 Greater Dandenong City Council



D03 FRONT ELEVATION



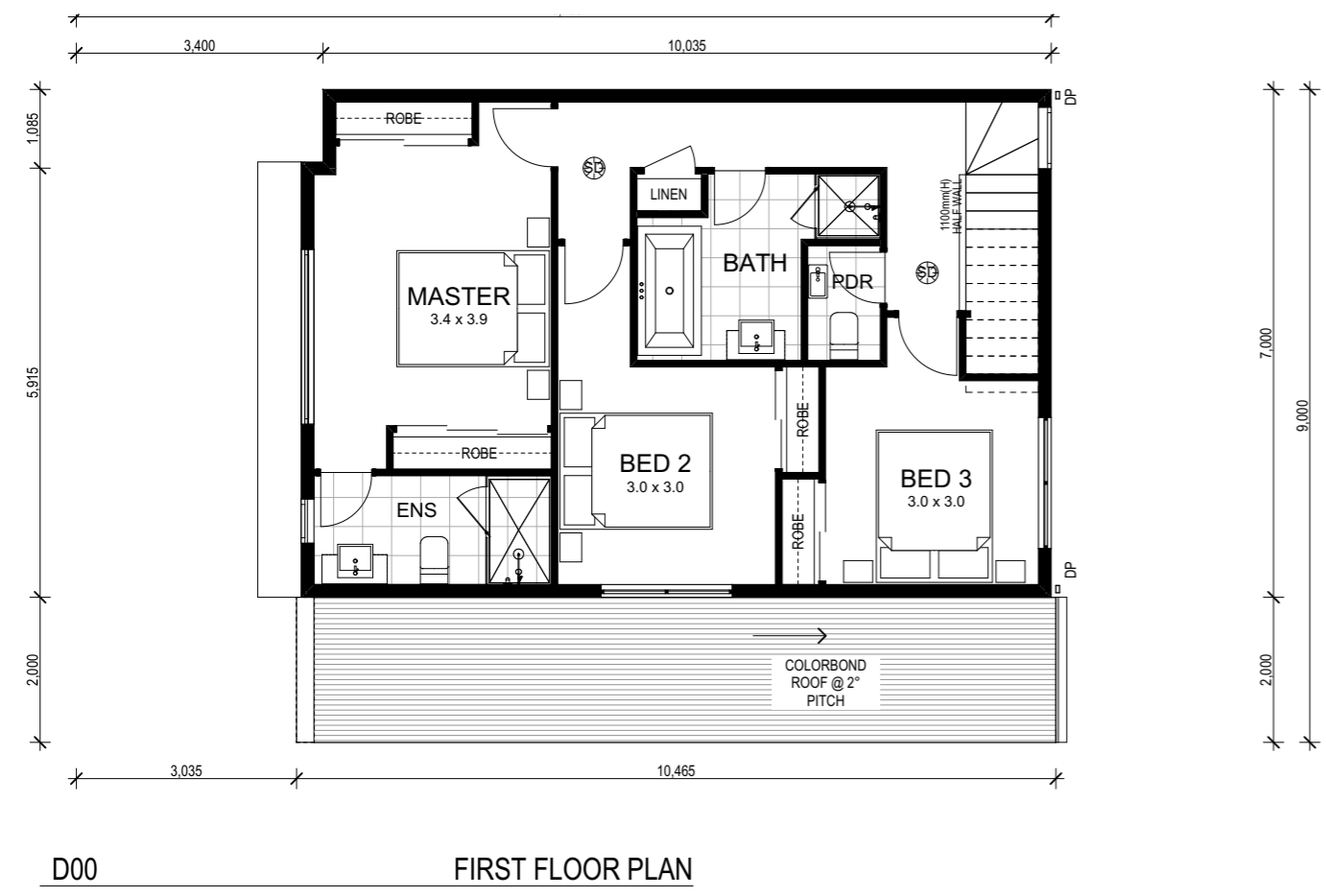
D02 GROUND FLOOR PLAN



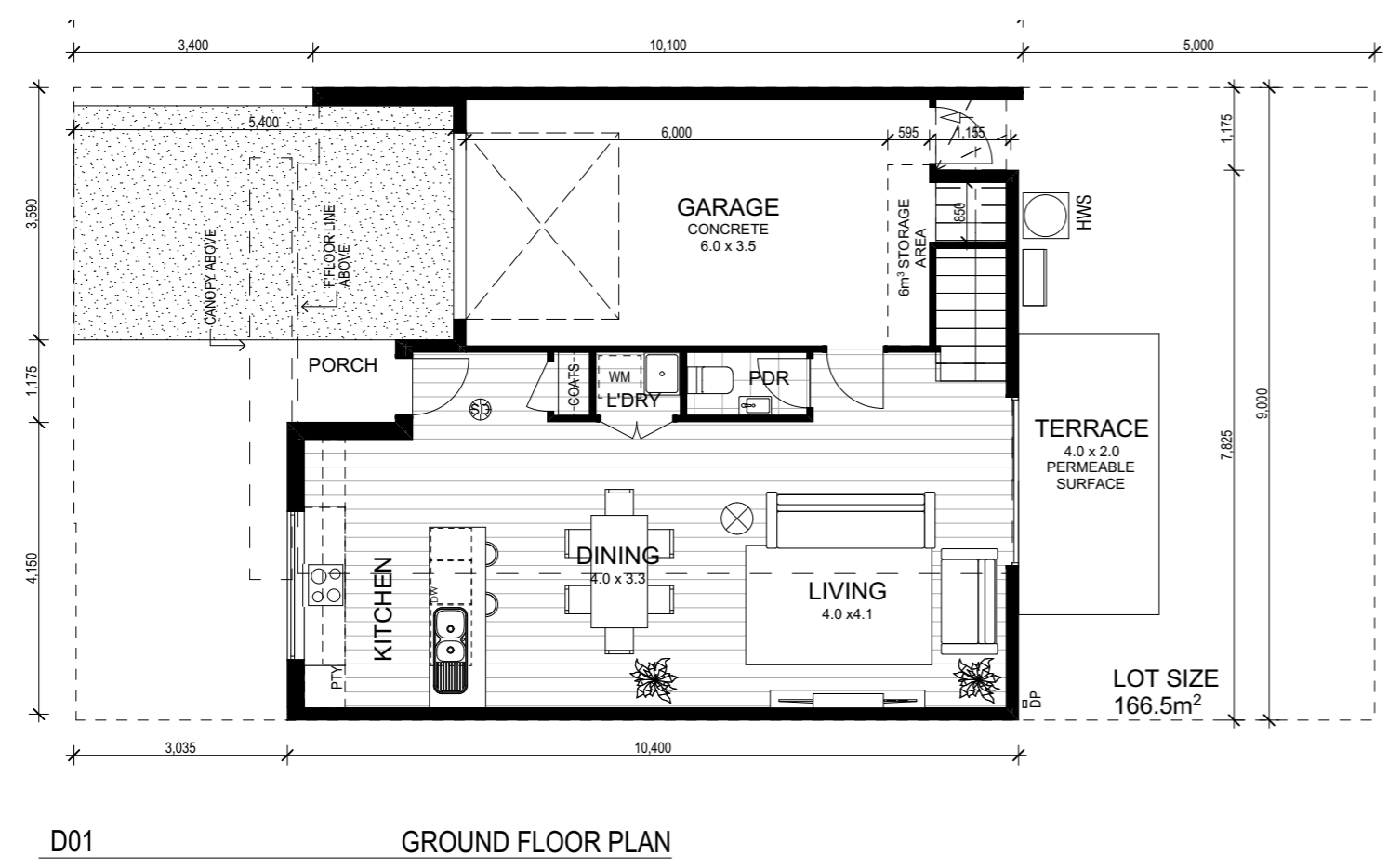
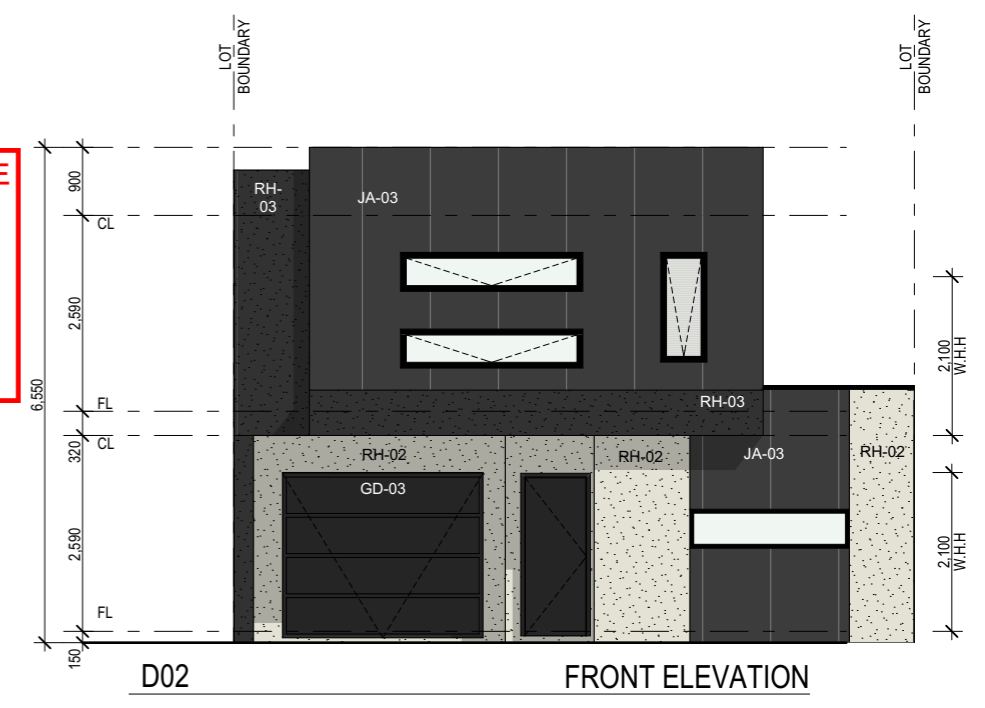
D04 REAR ELEVATION

AREA TYPE C - FACADE 01	
	AREA
GROUND FLOOR	57.27
FIRST FLOOR	71.38
GARAGE	25.74
PORCH	4.10
TOTAL	158.49 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24



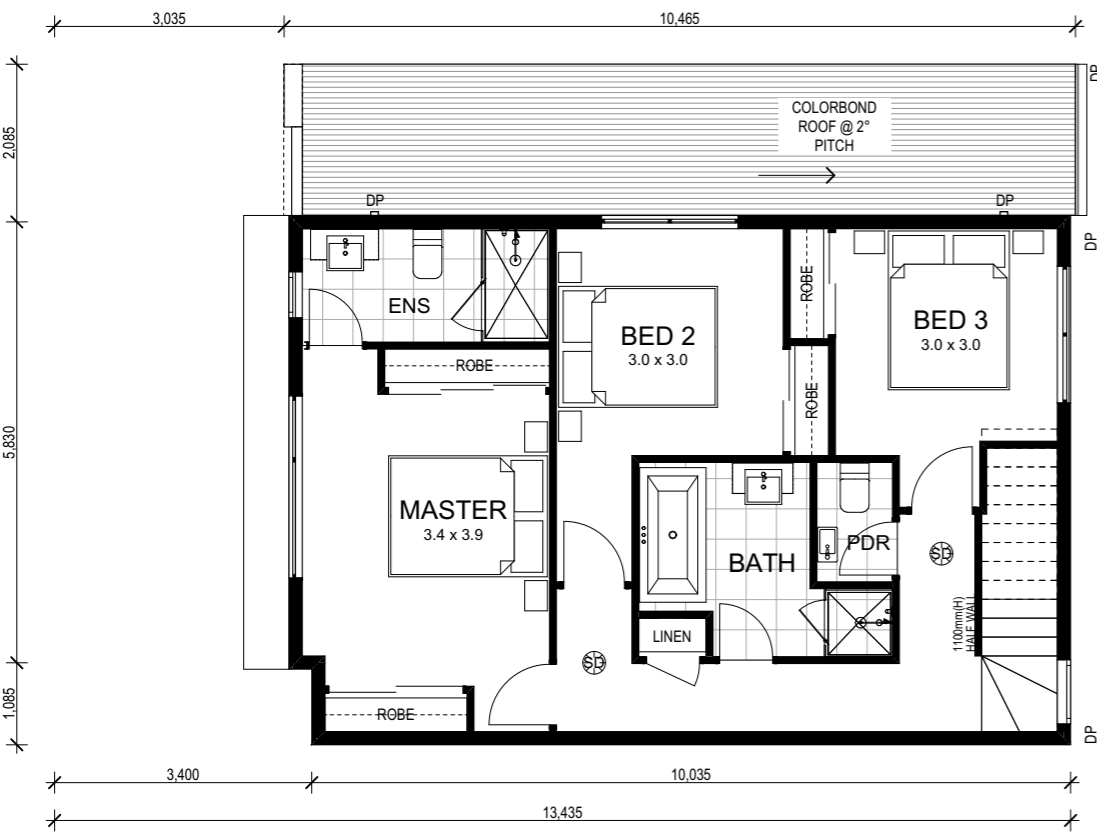
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 34 of 66
 Greater Dandenong City Council



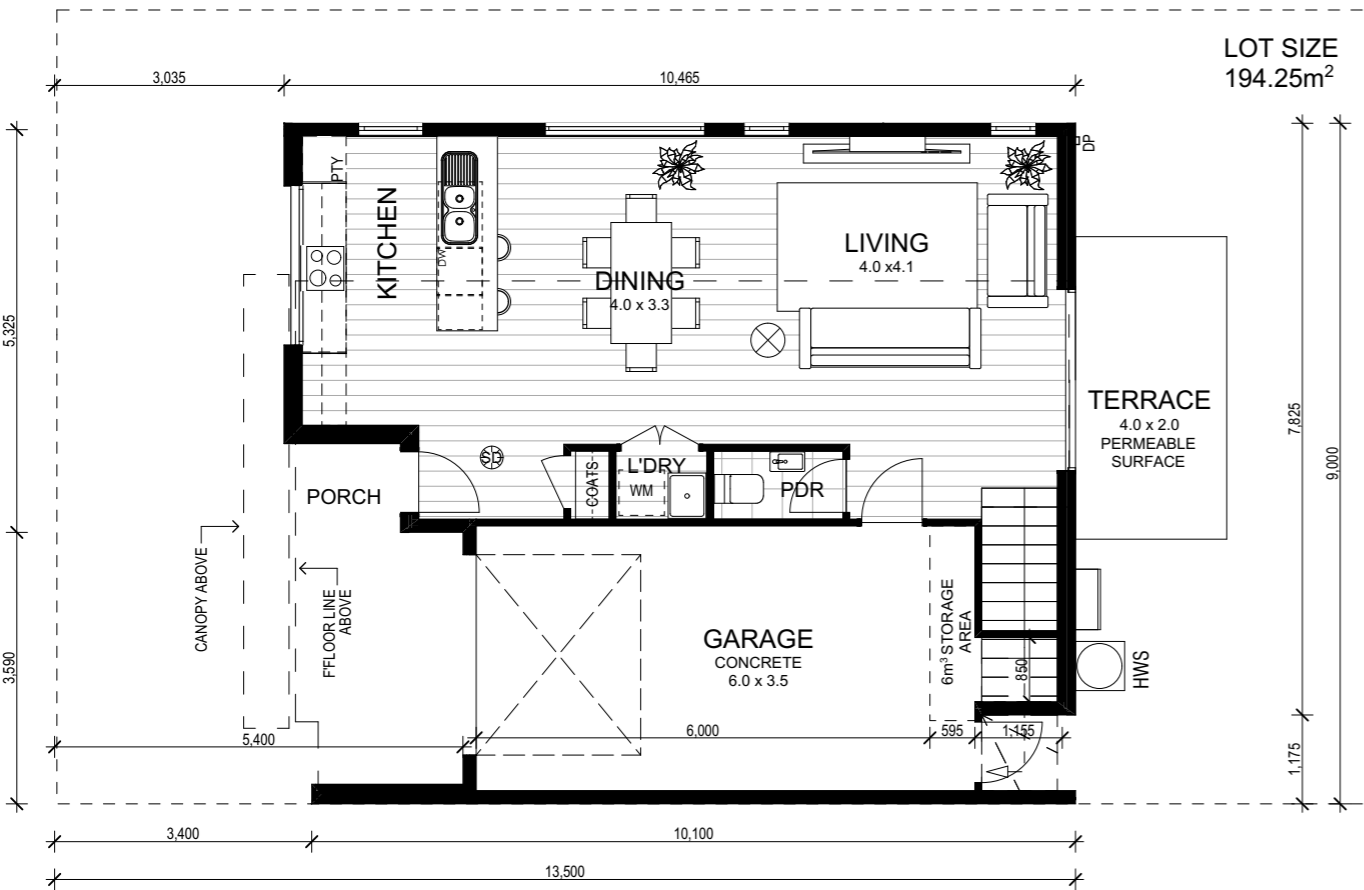
AREA | TYPE C - FACADE 02

	AREA
GROUND FLOOR	56.62
FIRST FLOOR	71.20
GARAGE	25.72
PORCH	4.10
TOTAL	157.64 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



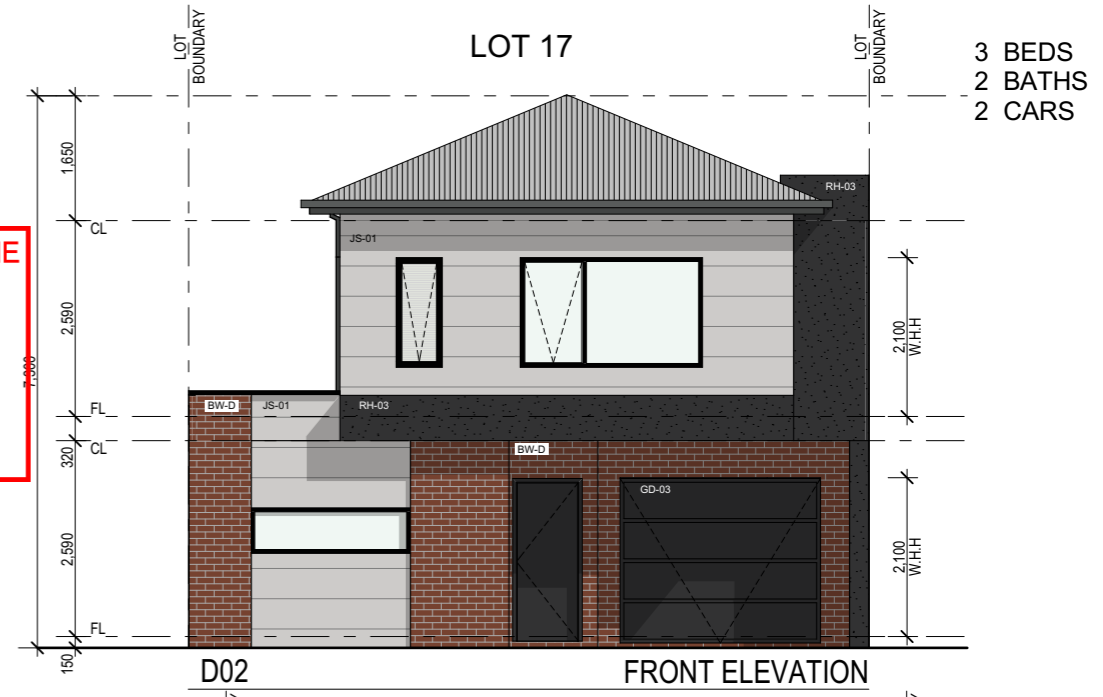
D01 FIRST FLOOR PLAN



D07 GROUND FLOOR PLAN

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 35 of 66
 Greater Dandenong City Council

AREA TYPE C - CORNER - FACADE 01	
	AREA
GROUND FLOOR	57.28
FIRST FLOOR	71.38
GARAGE	25.72
PORCH	4.10
TOTAL	158.48 m²



D02 FRONT ELEVATION



D05 REAR ELEVATION



D03 SIDE ELEVATION

3 BEDS
2 BATHS
2 CARS

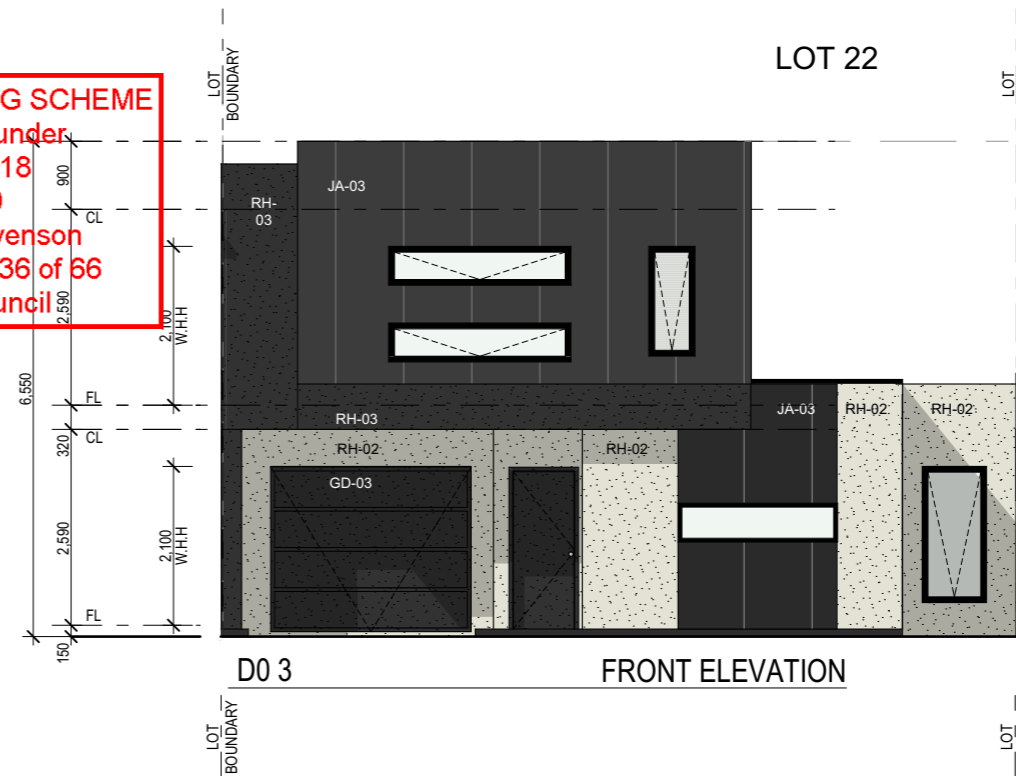
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

3 BEDS
2 BATHS
2 CARS

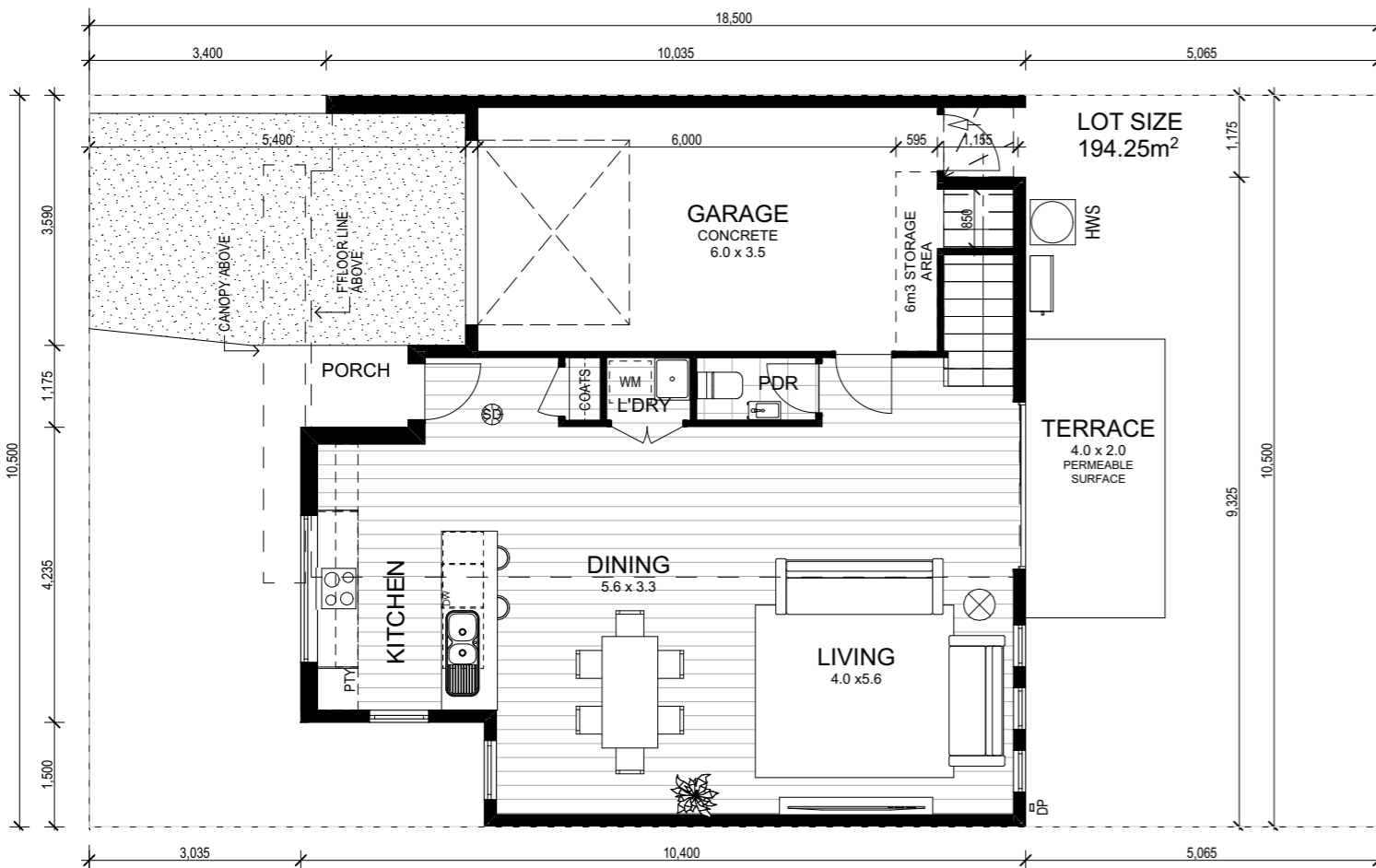
GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 36 of 66
Greater Dandenong City Council



D01 FIRST FLOOR PLAN



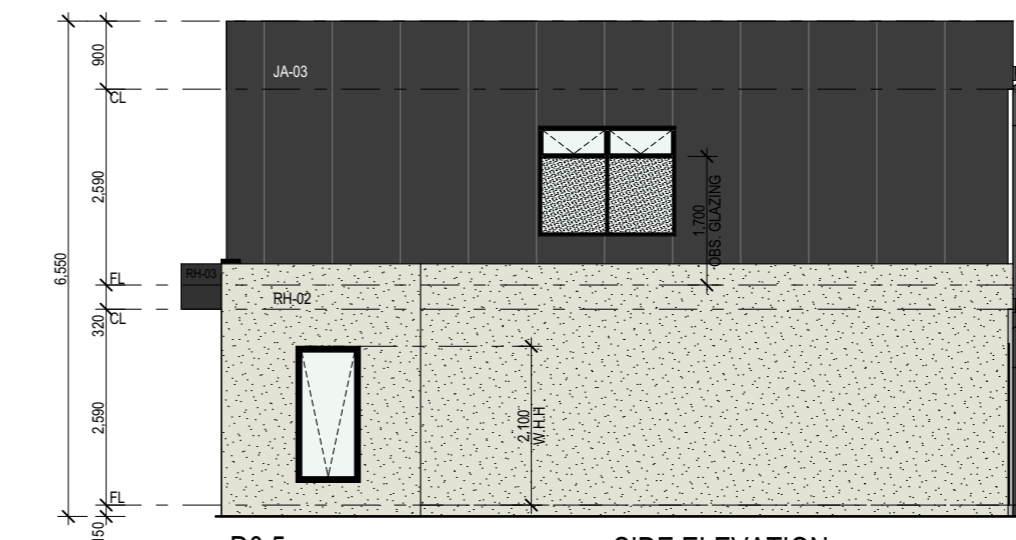
D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN



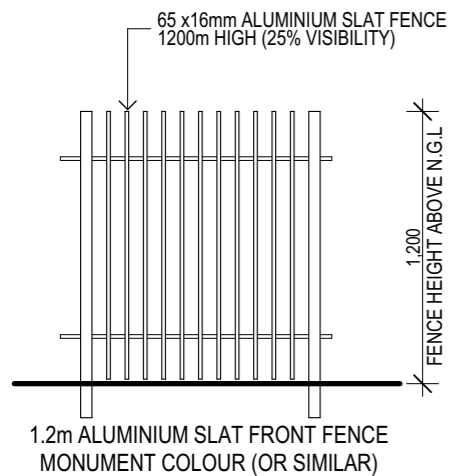
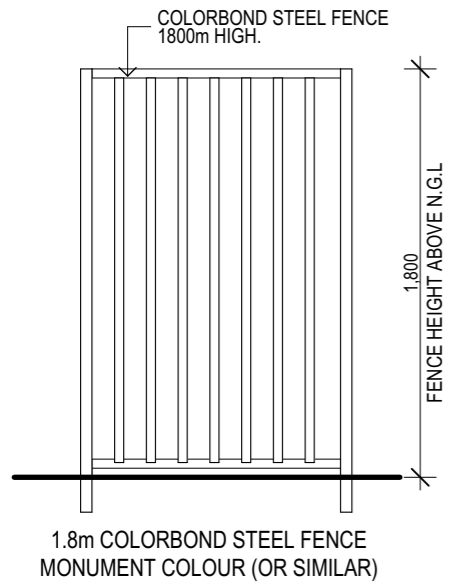
D04 REAR ELEVATION



D05 SIDE ELEVATION

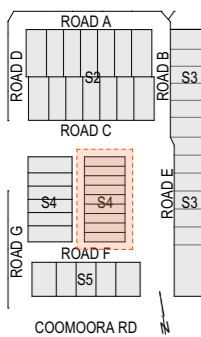
AREA TYPE C - C - F2	
	AREA
GROUND FLOOR	68.20
FIRST FLOOR	71.20
GARAGE	25.72
PORCH	4.10
TOTAL	169.22 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



FENCING LEGEND

- 1.2m HIGH ALUMINIUM FRONT FENCE 25% PERMEABILITY
- 1.8m HIGH COLORBOND FENCE

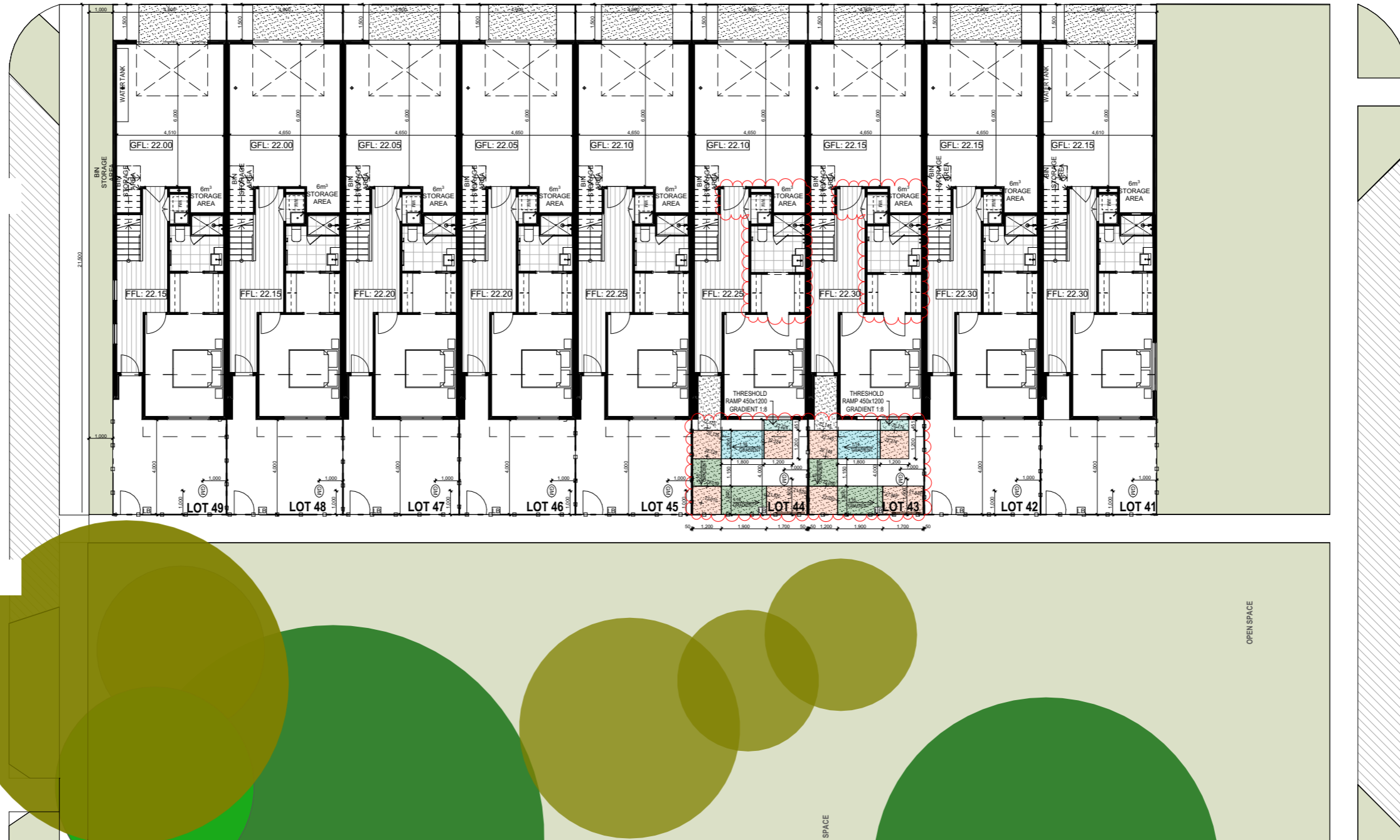


NOTE:
1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

NOTE:
SIDE SETBACK TO LOT 49 DWELLING IS TO BE LANDSCAPED AND MAINTAINED BY THE OWNERS CORPORATION

LANEWAY

- FLAT LANDING
- STEP RAMP GRADIENT 1:10 MAX
- RAMP GRADIENT 1:14 MAX
- 450x1200mm THRESHOLD RAMP GRADIENT 1:8 MAX



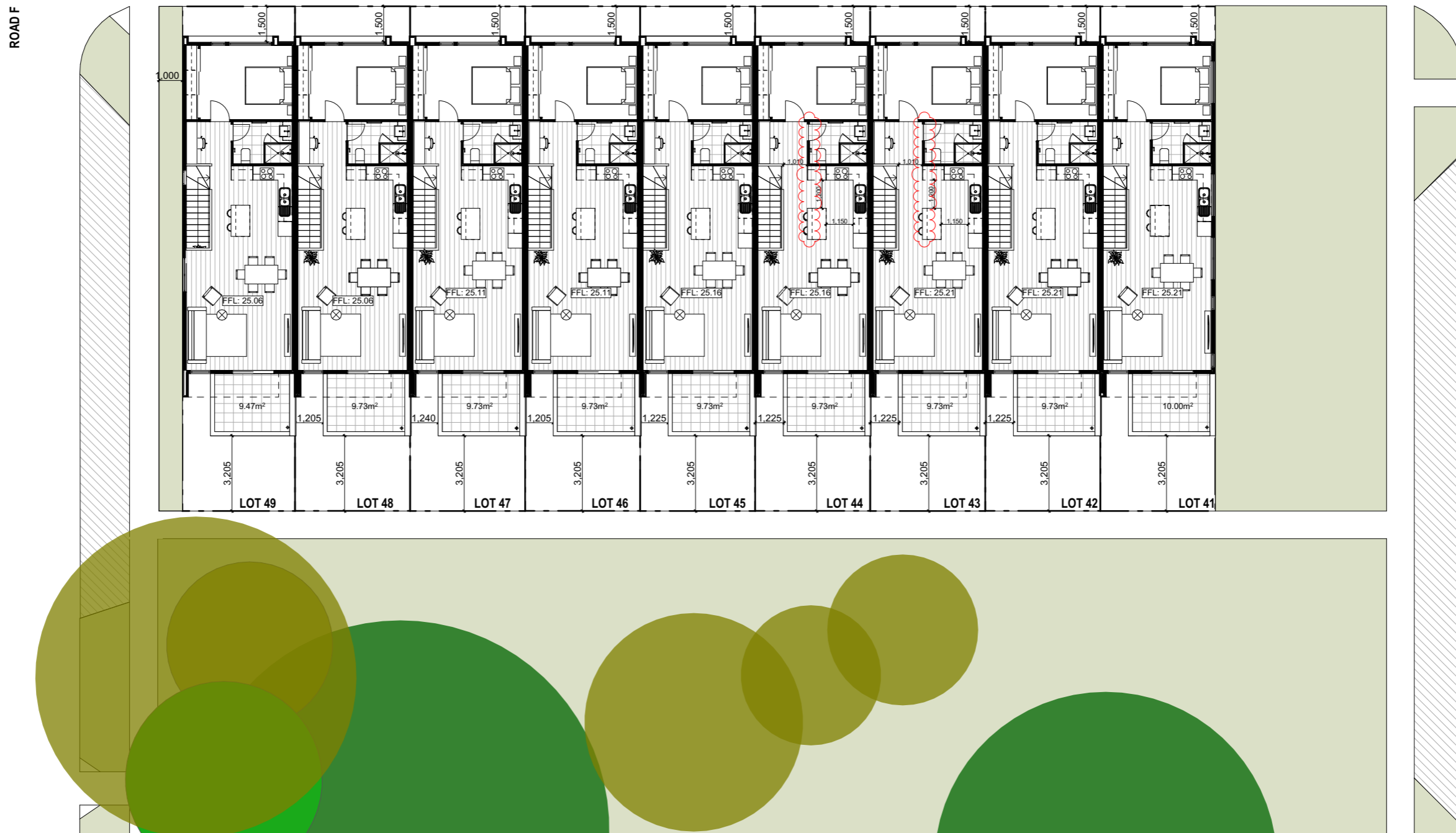
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 37 of 66
 Greater Dandenong City Council

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL REF	30.09.21
C	TOWN PLANNING - COUNCIL REF	19.01.22
D	TOWN PLANNING - COUNCIL REF	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

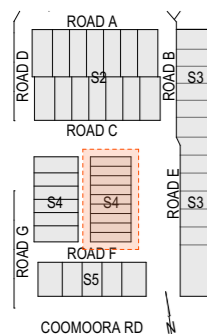
NOTE:

SIDE SETBACK TO LOT 49 DWELLING IS TO BE LANDSCAPED AND MAINTAINED BY THE OWNERS CORPORATION

LANEWAY



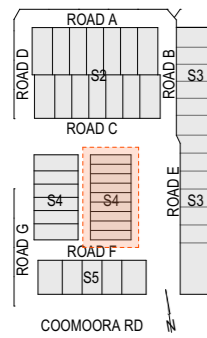
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 38 of 66
 Greater Dandenong City Council



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL REF	30.09.21
C	TOWN PLANNING - COUNCIL REF	19.01.22
D	TOWN PLANNING - COUNCIL REF	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24



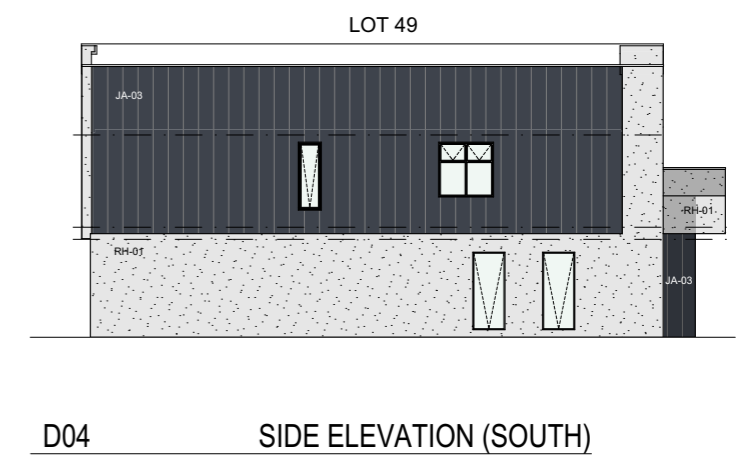
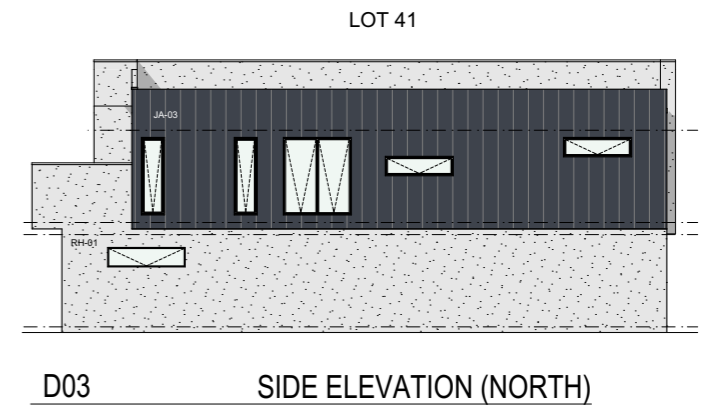
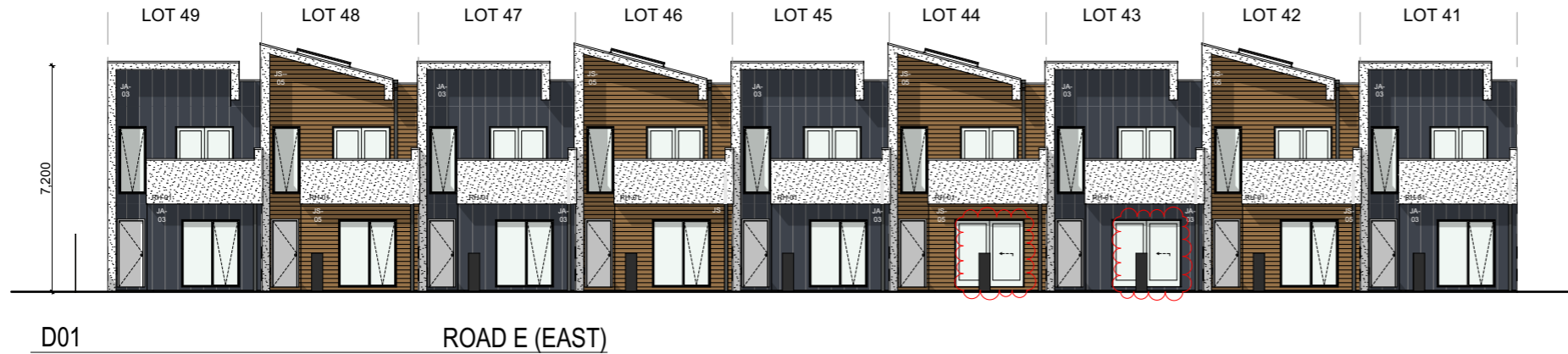
LANEWAY



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

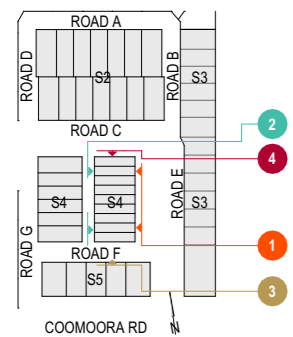


GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 40 of 66
 Greater Dandenong City Council

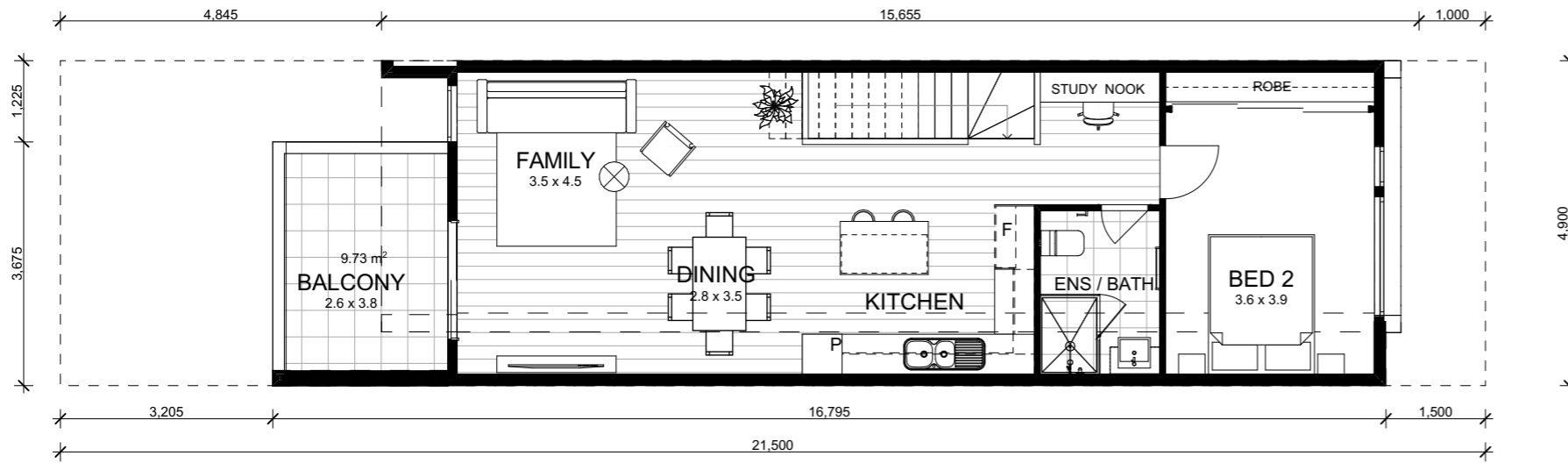


NOTE:
 ALL HABITABLE ROOM WINDOWS TO BE
 DOUBLE GLAZED

MATERIALS SCHEDULE								
BW Brickwork Dark colour or similar	BW Brickwork Light colour or similar	JS James Hardie STRIA 325 Lightweight Cladding Paint finish	JA1 James Hardie Axon 133 Lightweight Cladding Paint finish	JA James Hardie Axon 400 Lightweight Cladding Paint finish	JE James Hardie Easylap Lightweight Cladding Paint Finish	RH Textured render finish	GD Garage Door Sectional panel lift	Coloured Concrete Driveways Monument color or similar
COLOUR SCHEDULE								
Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfist or similar	Fascia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar

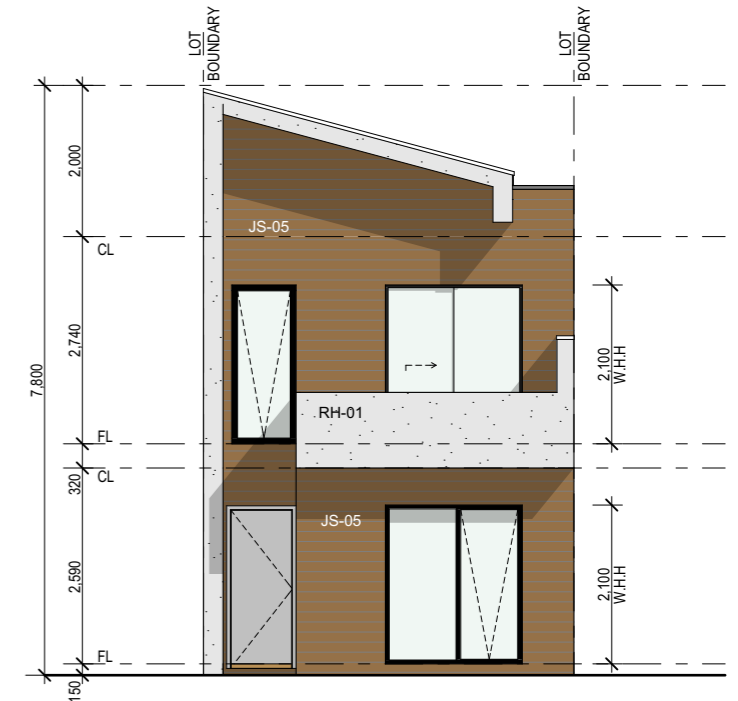


rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

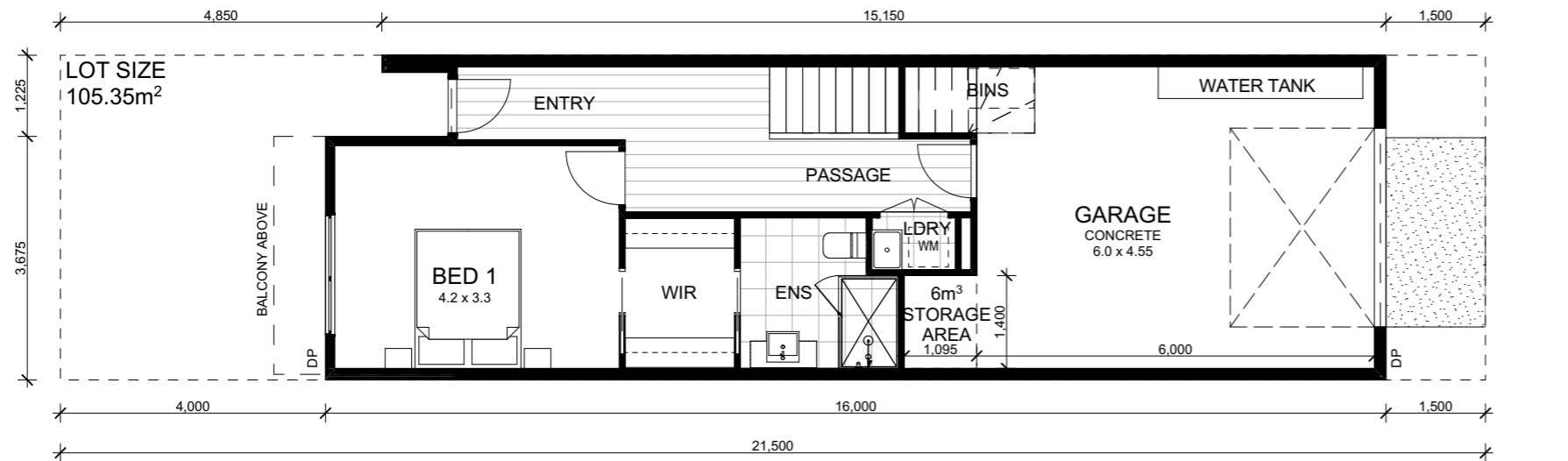


D01 FIRST FLOOR PLAN

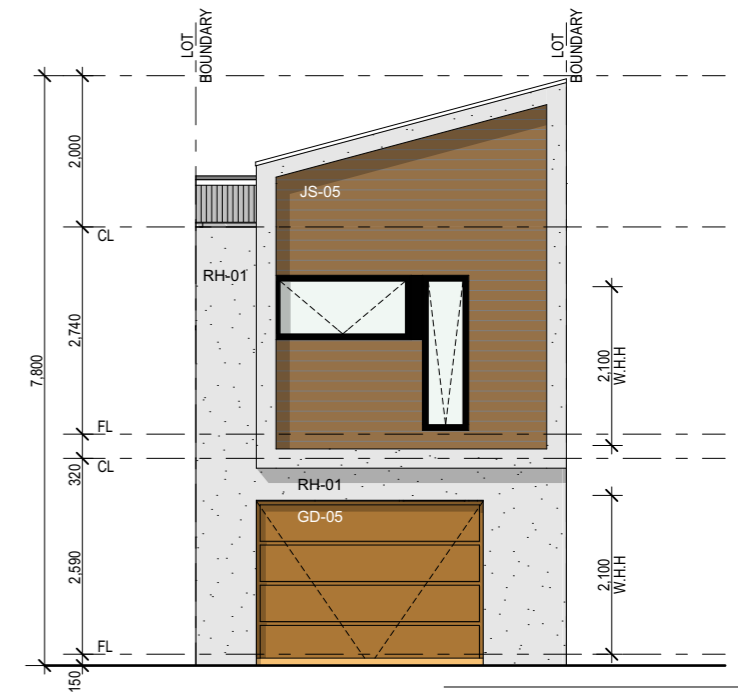
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 41 of 66
 Greater Dandenong City Council



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN



D04 REAR ELEVATION

AREA | TYPE D - FACADE 1

	AREA
GROUND FLOOR	43.24
FIRST FLOOR	69.23
GARAGE	33.14
PORCH	2.25
BALCONY	9.76
TOTAL	157.62 m²



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

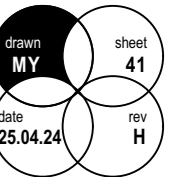
project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

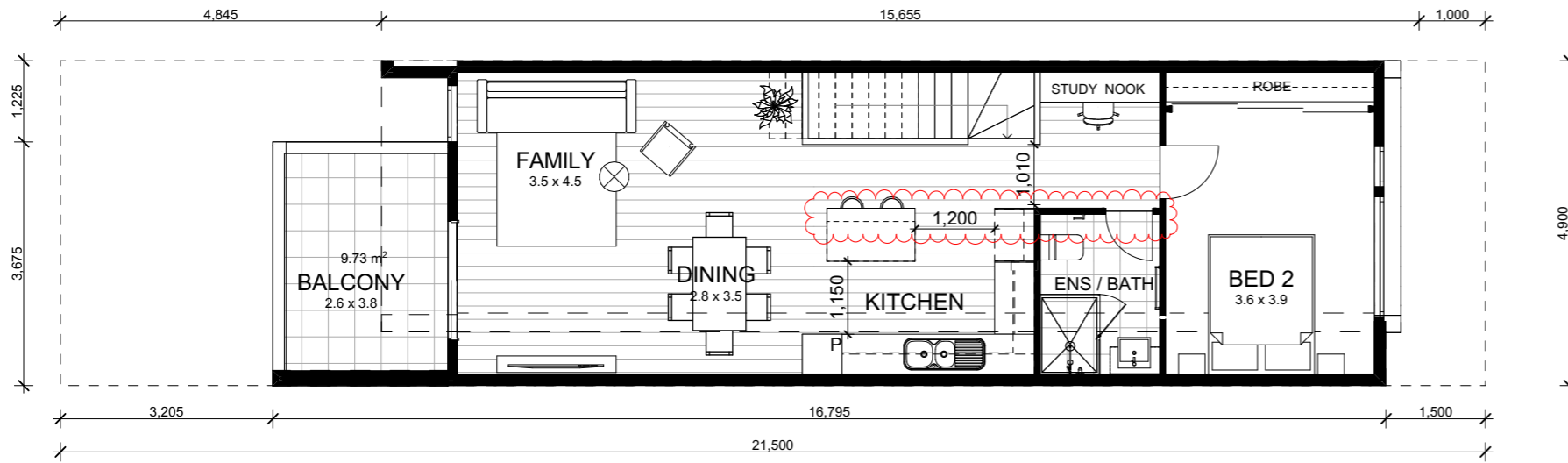
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:100@A3

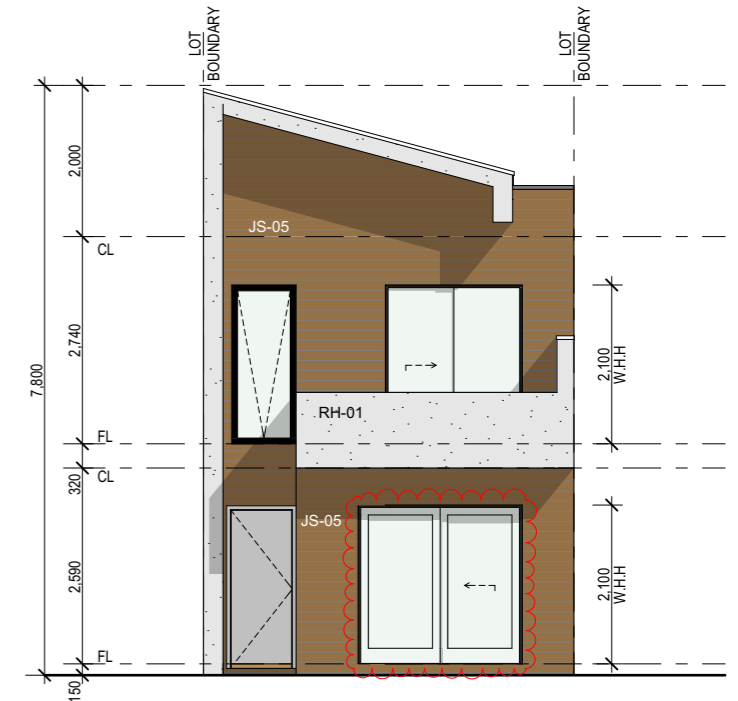
drawing name
VIOLA - FACADE 1



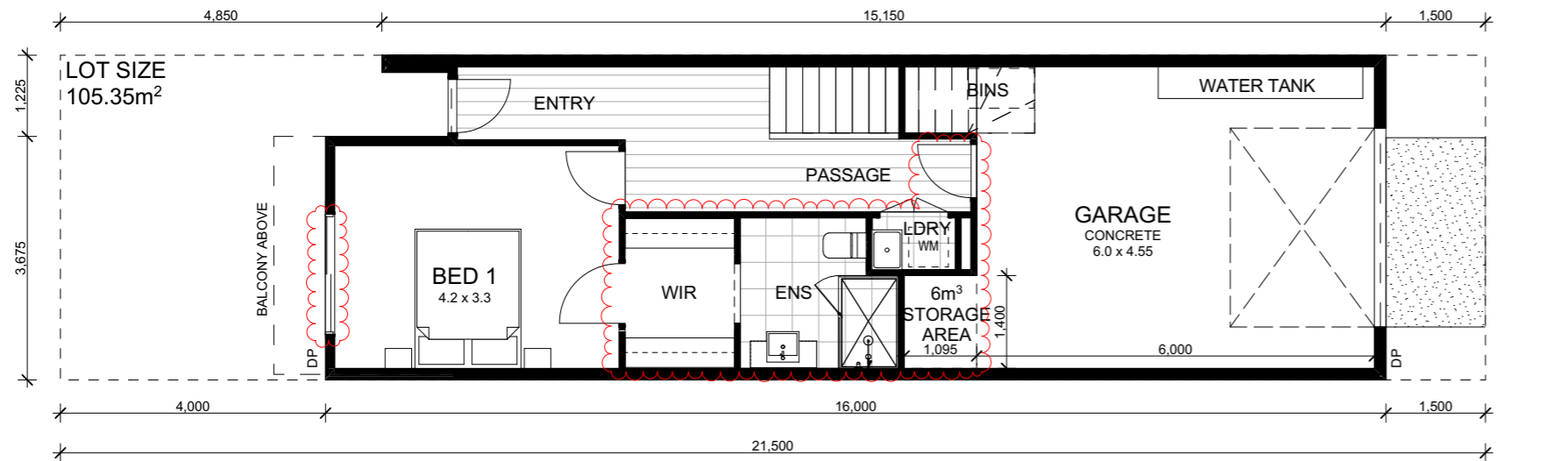


D01 FIRST FLOOR PLAN

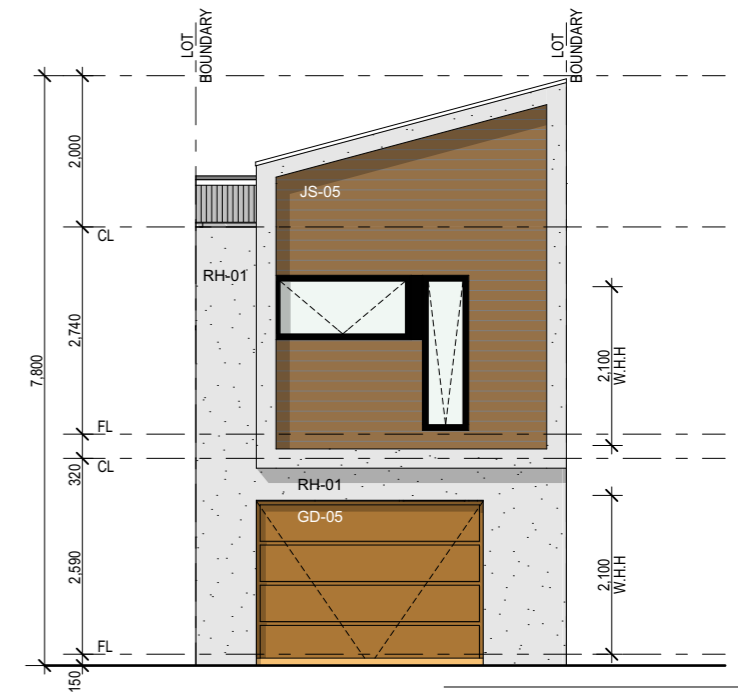
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 42 of 66
 Greater Dandenong City Council



D03 FRONT ELEVATION



D02 GROUND FLOOR PLAN

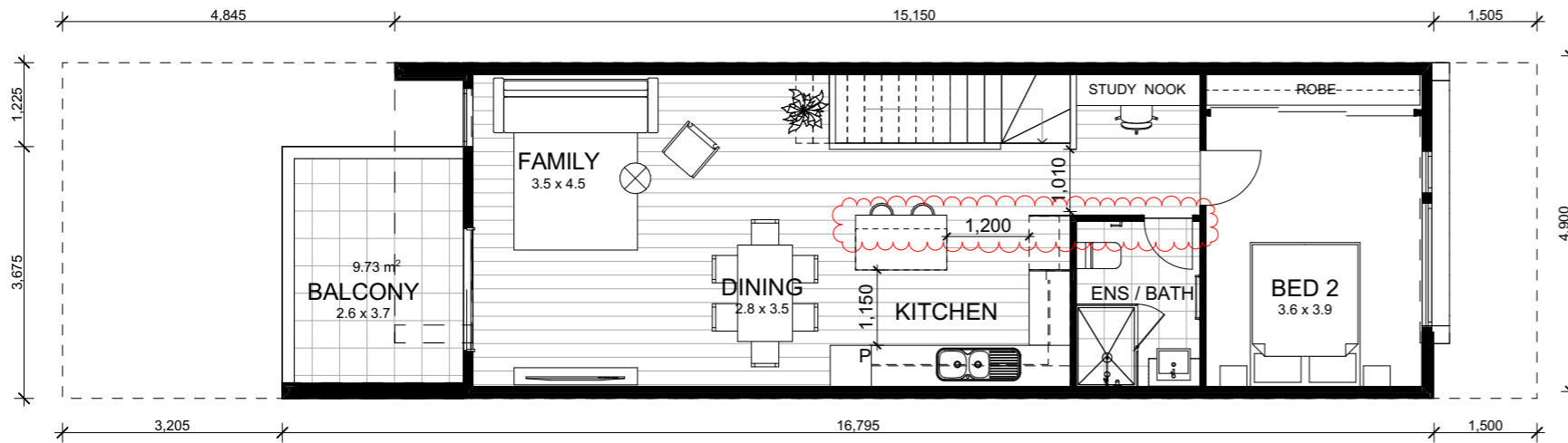


D04 REAR ELEVATION

AREA | TYPE D - FACADE 1

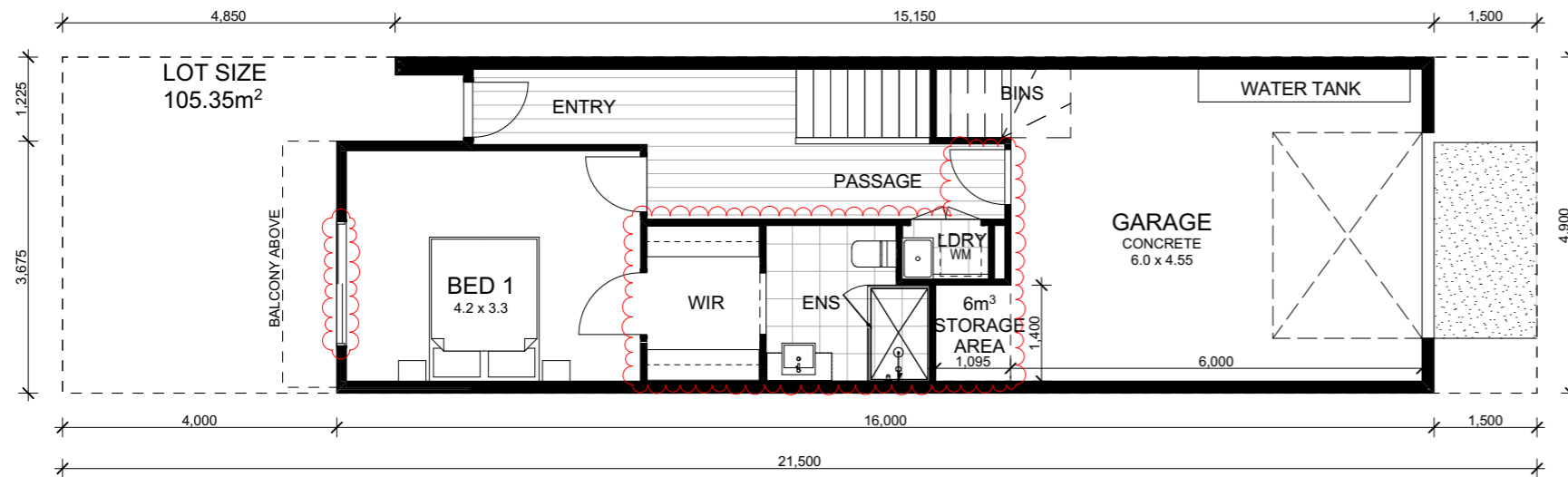
	AREA
GROUND FLOOR	43.24
FIRST FLOOR	69.23
GARAGE	33.14
PORCH	2.25
BALCONY	9.76
TOTAL	157.62 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



D01 FIRST FLOOR PLAN

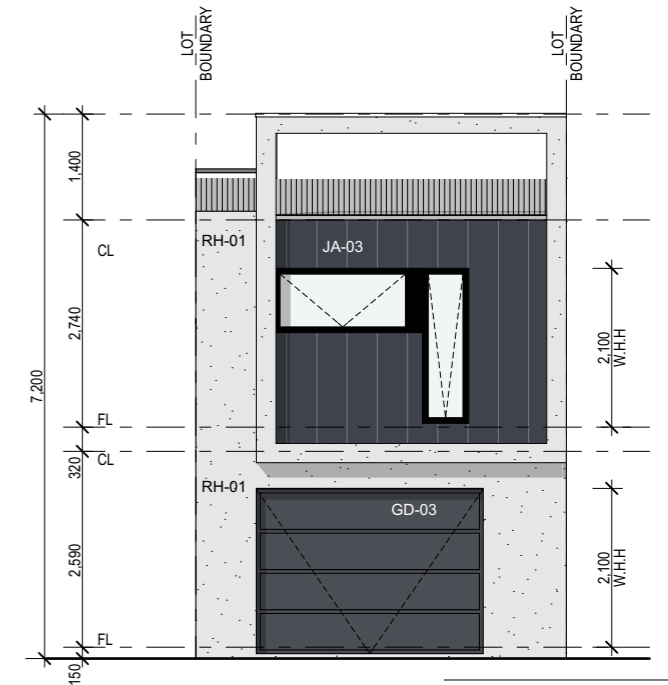
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 43 of 66
 Greater Dandenong City Council



D02 GROUND FLOOR PLAN



D02 FRONT ELEVATION



D03 REAR ELEVATION

AREA TYPE D - FACADE 2	
	AREA
GROUND FLOOR	43.25
FIRST FLOOR	69.23
GARAGE	33.14
PORCH	2.25
BALCONY	9.76
TOTAL	157.63 m²



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

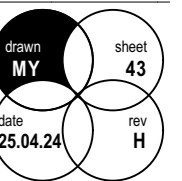
project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

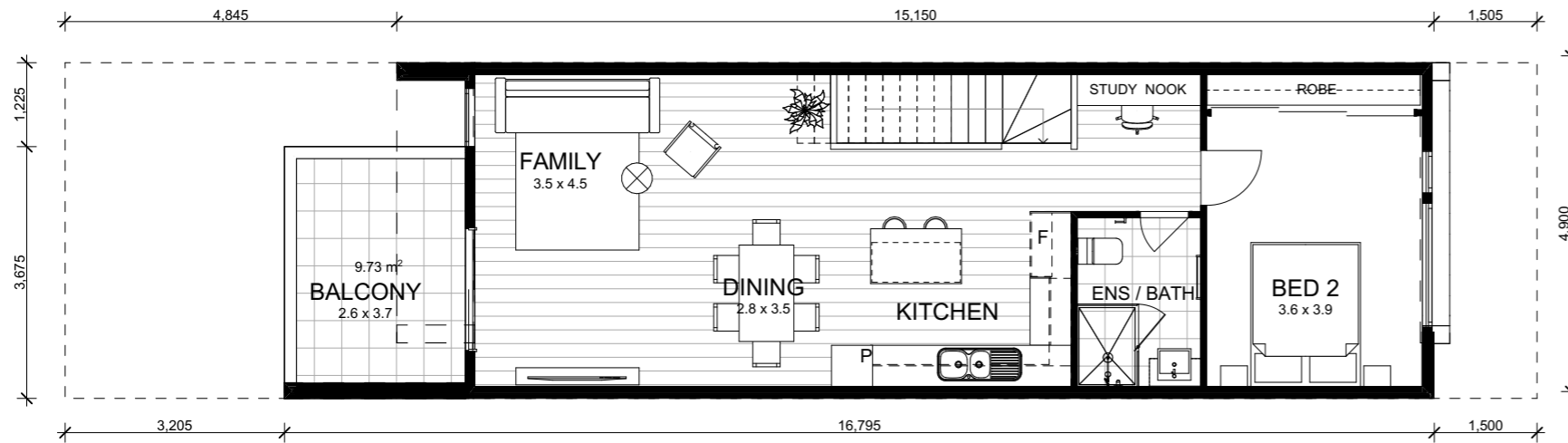
site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:100@A3

drawing name
VIOLA - FACADE 2



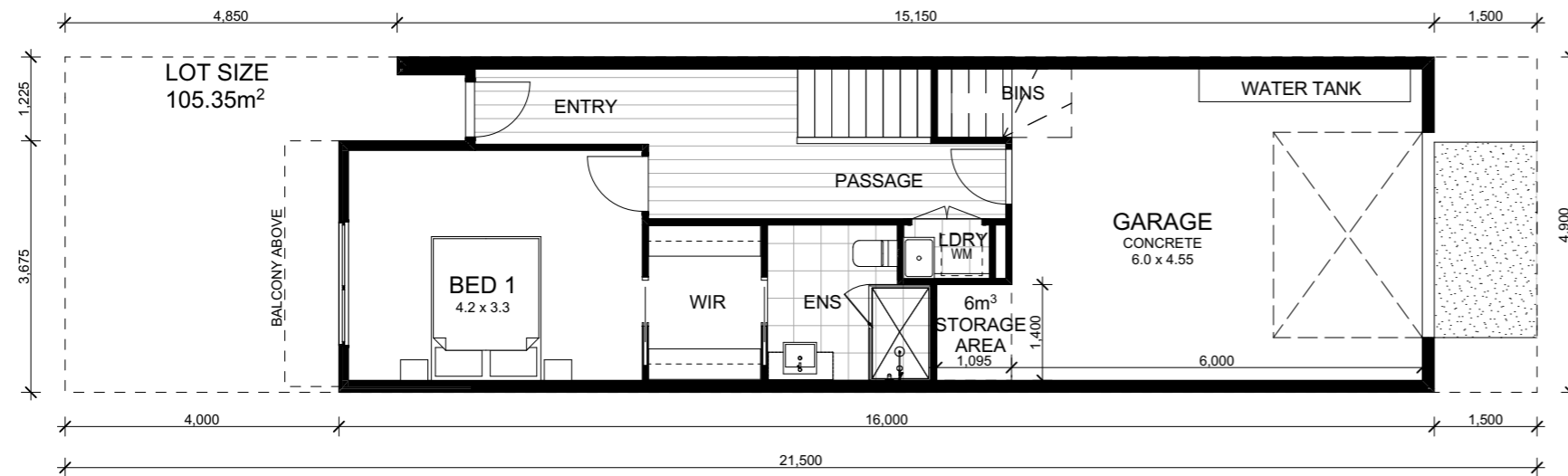


D01 FIRST FLOOR PLAN

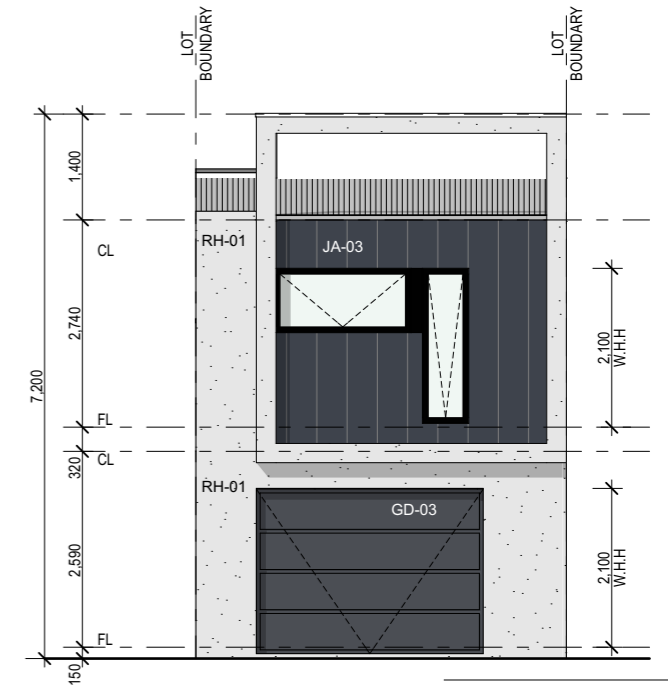
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 44 of 66
 Greater Dandenong City Council



D02 FRONT ELEVATION



D02 GROUND FLOOR PLAN



D03 REAR ELEVATION

AREA | TYPE D - FACADE 2

	AREA
GROUND FLOOR	43.25
FIRST FLOOR	69.23
GARAGE	33.14
PORCH	2.25
BALCONY	9.76
TOTAL	157.63 m²



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

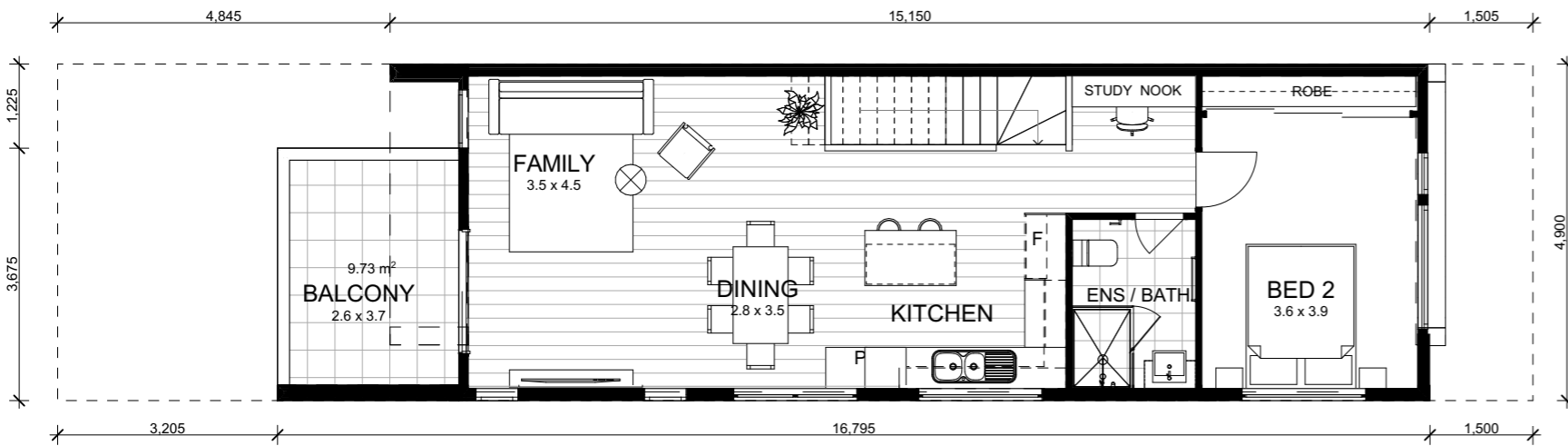
client
DEVELOPMENT VICTORIA

project no. estate scale
 1:100@A3

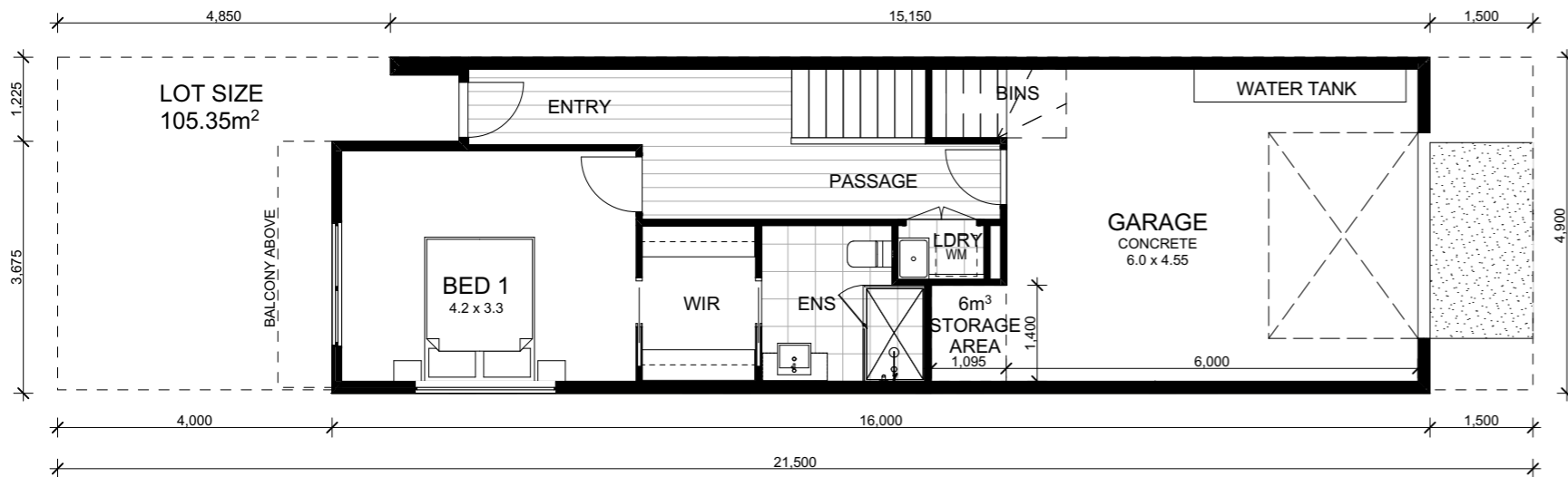
drawing name
VIOLA - FACADE 2

drawn MY sheet 44
 date 25.04.24 rev H

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 45 of 66
 Greater Dandenong City Council



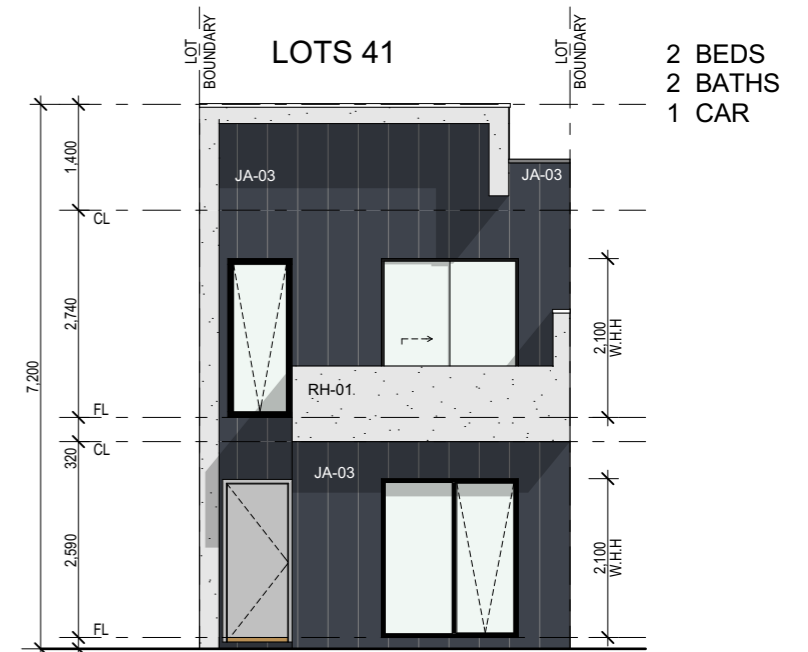
D02 FIRST FLOOR PLAN



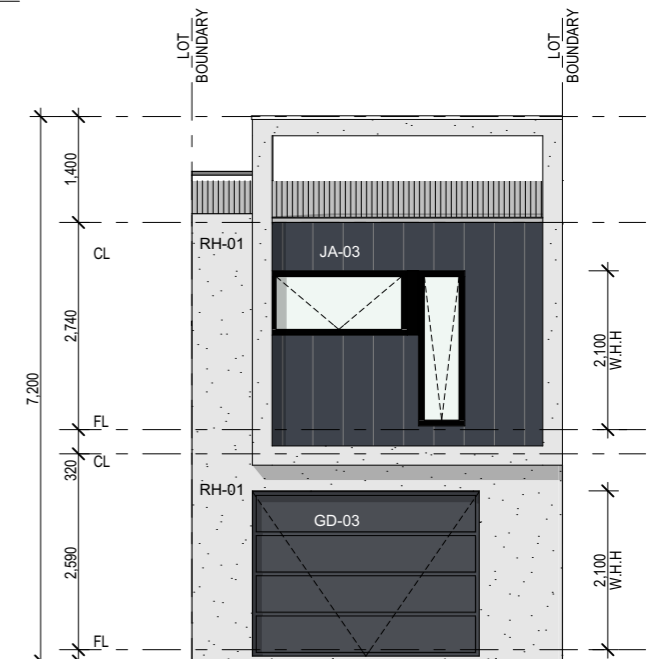
D01 GROUND FLOOR PLAN

AREA TYPE D - CORNER - FACADE 2	
	AREA
GROUND FLOOR	43.21
FIRST FLOOR	69.23
GARAGE	33.18
PORCH	2.25
BALCONY	9.76
TOTAL	157.63 m²

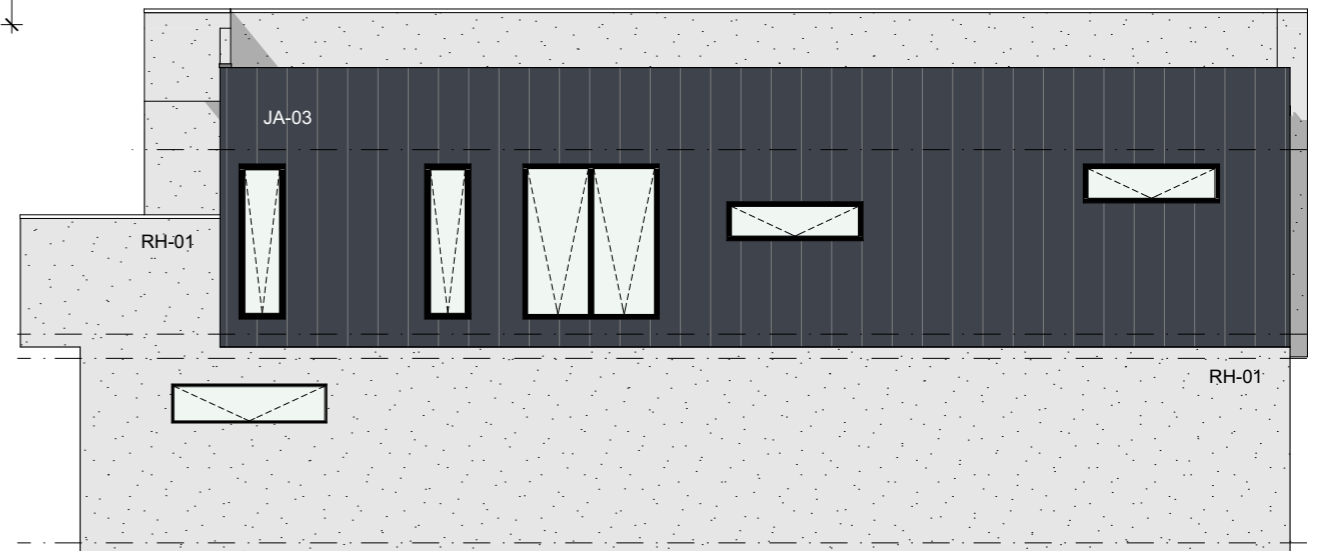
NOTE:
WINDOWS ON BOUNDARY WALL TO BE FIRE RATED



D03 FRONT ELEVATION

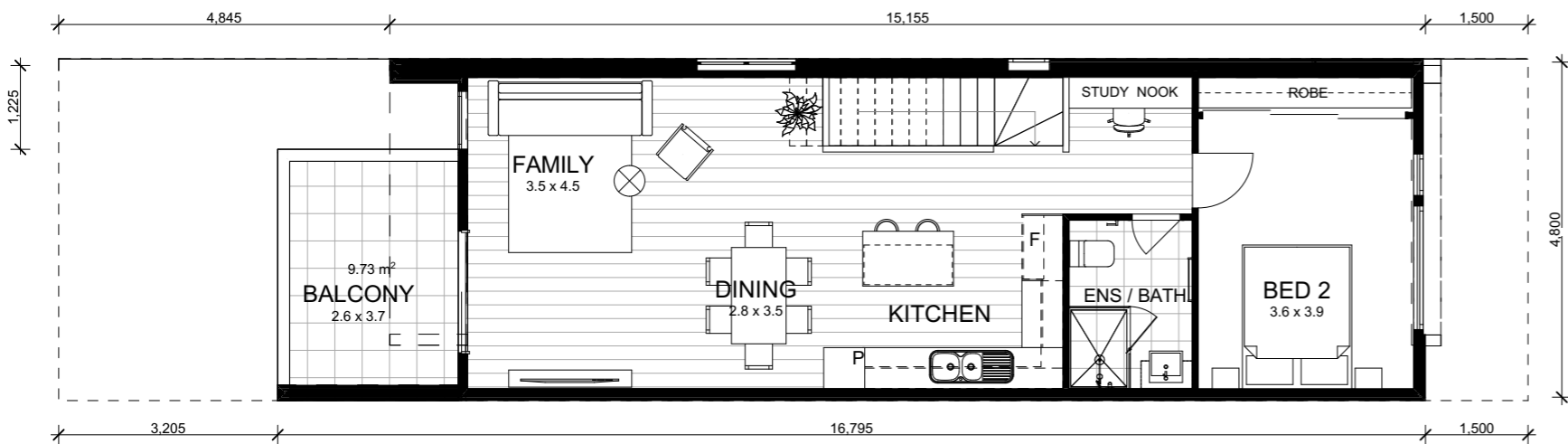


D04 REAR ELEVATION

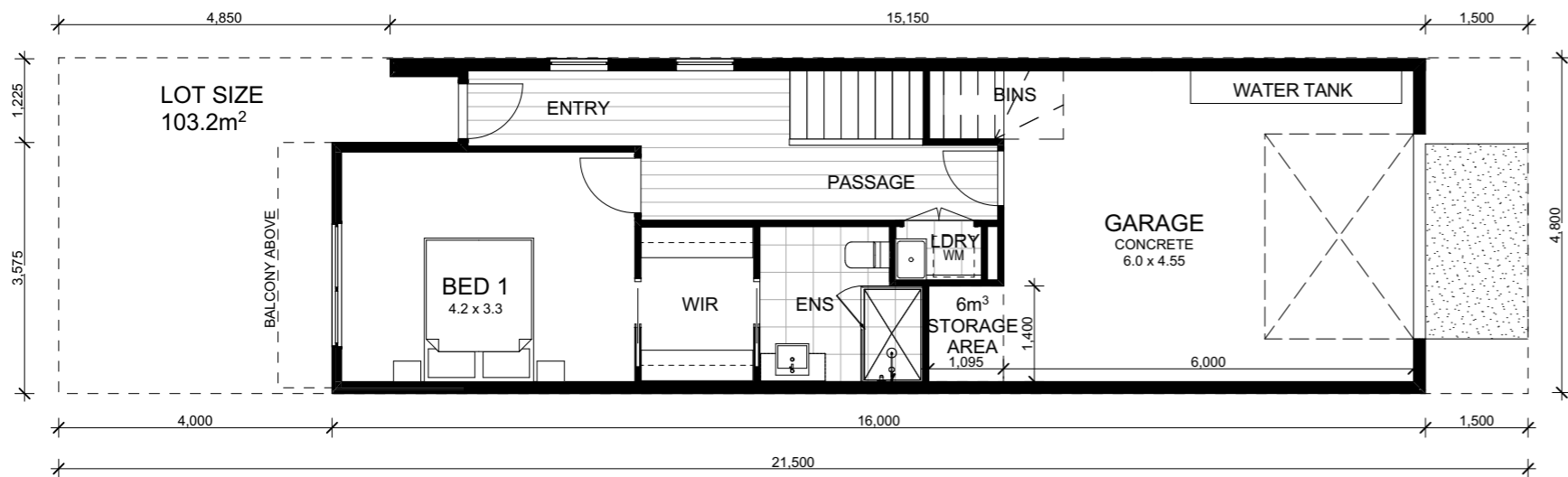


D05 SIDE ELEVATION

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 46 of 66
 Greater Dandenong City Council



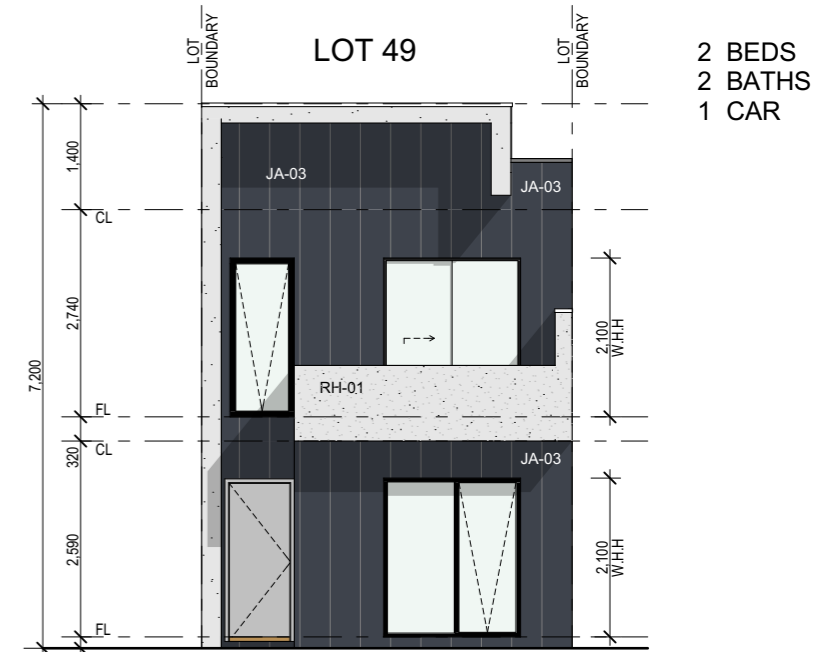
D01 FIRST FLOOR PLAN



D02 GROUND FLOOR PLAN

AREA TYPE D - CORNER - FACADE 2	
	AREA
GROUND FLOOR	42.22
FIRST FLOOR	67.44
GARAGE	32.57
PORCH	2.25
BALCONY	9.54
TOTAL	154.02 m²

NOTE:
WINDOWS ON BOUNDARY WALL TO BE FIRE RATED



D04 FRONT ELEVATION



D05 REAR ELEVATION



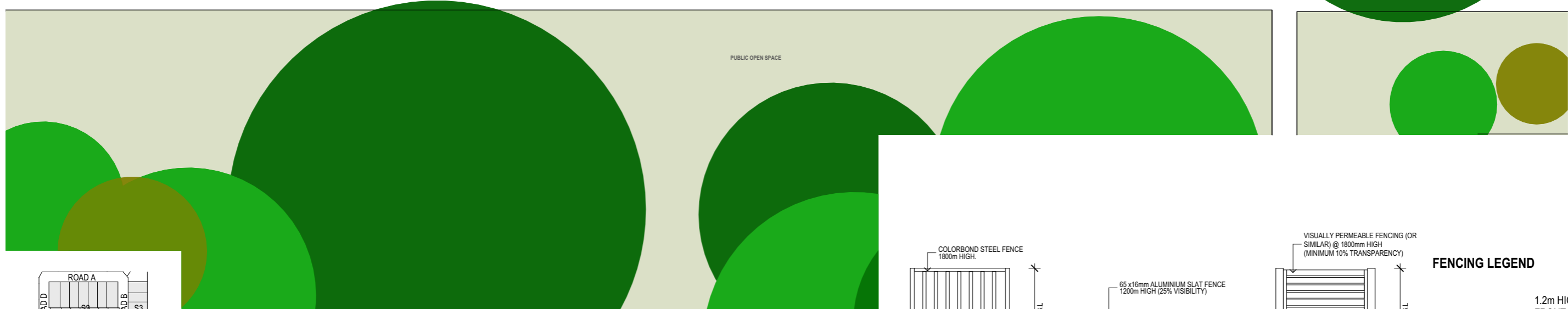
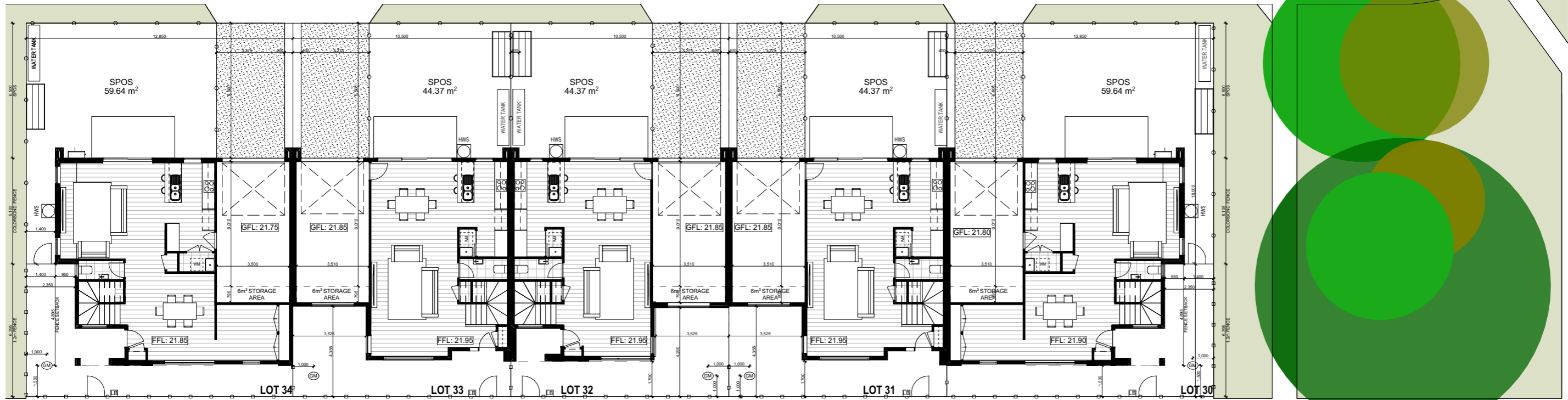
D08 SIDE ELEVATION

2 BEDS
2 BATHS
1 CAR

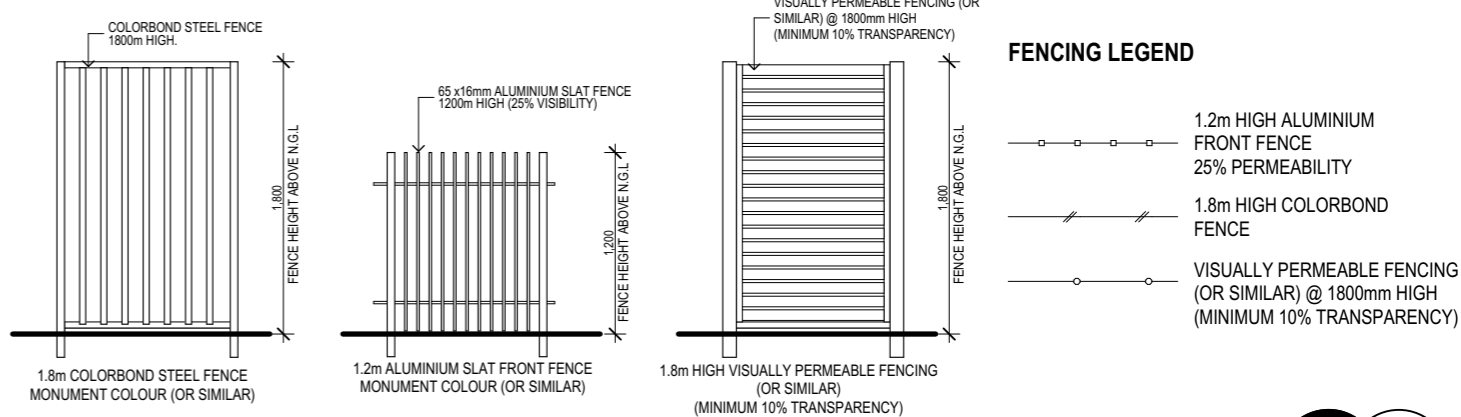
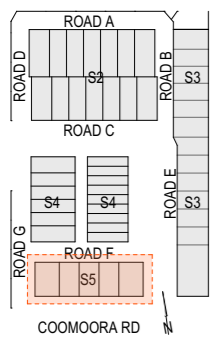
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

NOTE:
1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

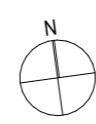
ROAD F



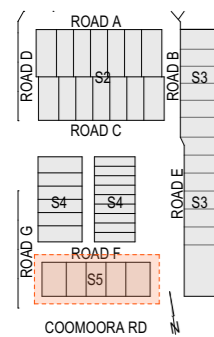
GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 47 of 66
Greater Dandenong City Council



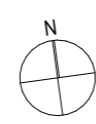
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



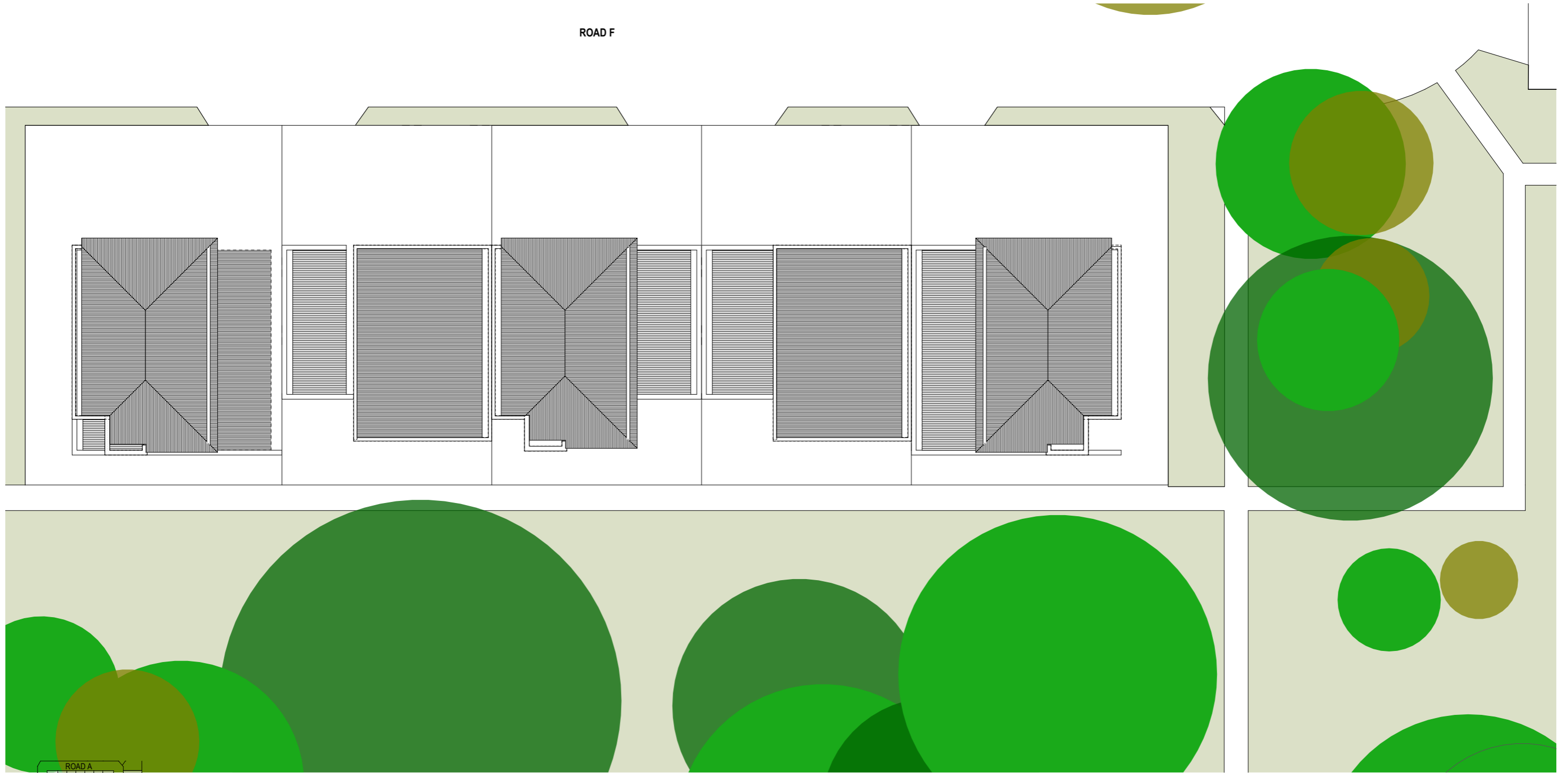
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 48 of 66
 Greater Dandenong City Council



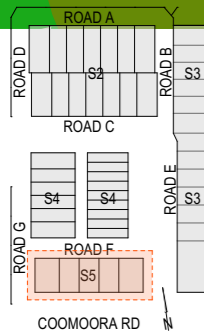
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



ROAD F



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 49 of 66
 Greater Dandenong City Council



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL REF	30.09.21
C	TOWN PLANNING - COUNCIL REF	19.01.22
D	TOWN PLANNING - COUNCIL REF	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.



site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

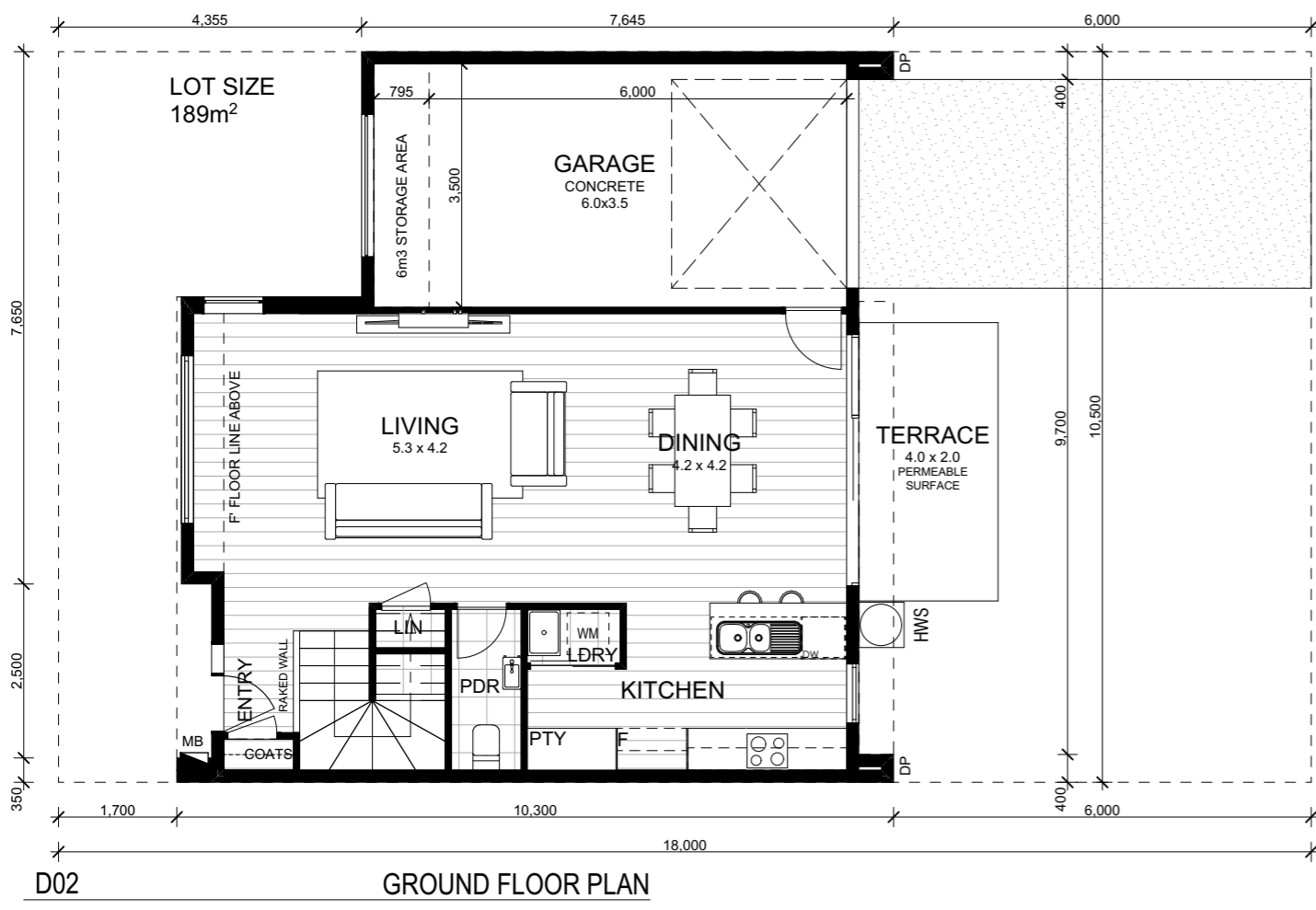
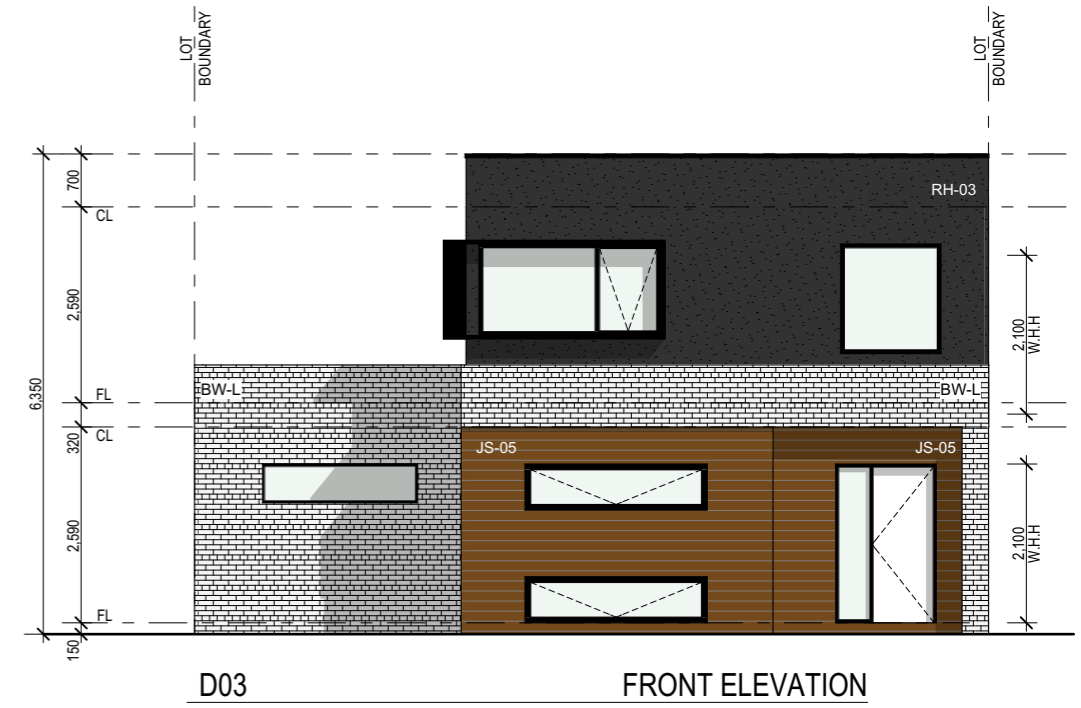
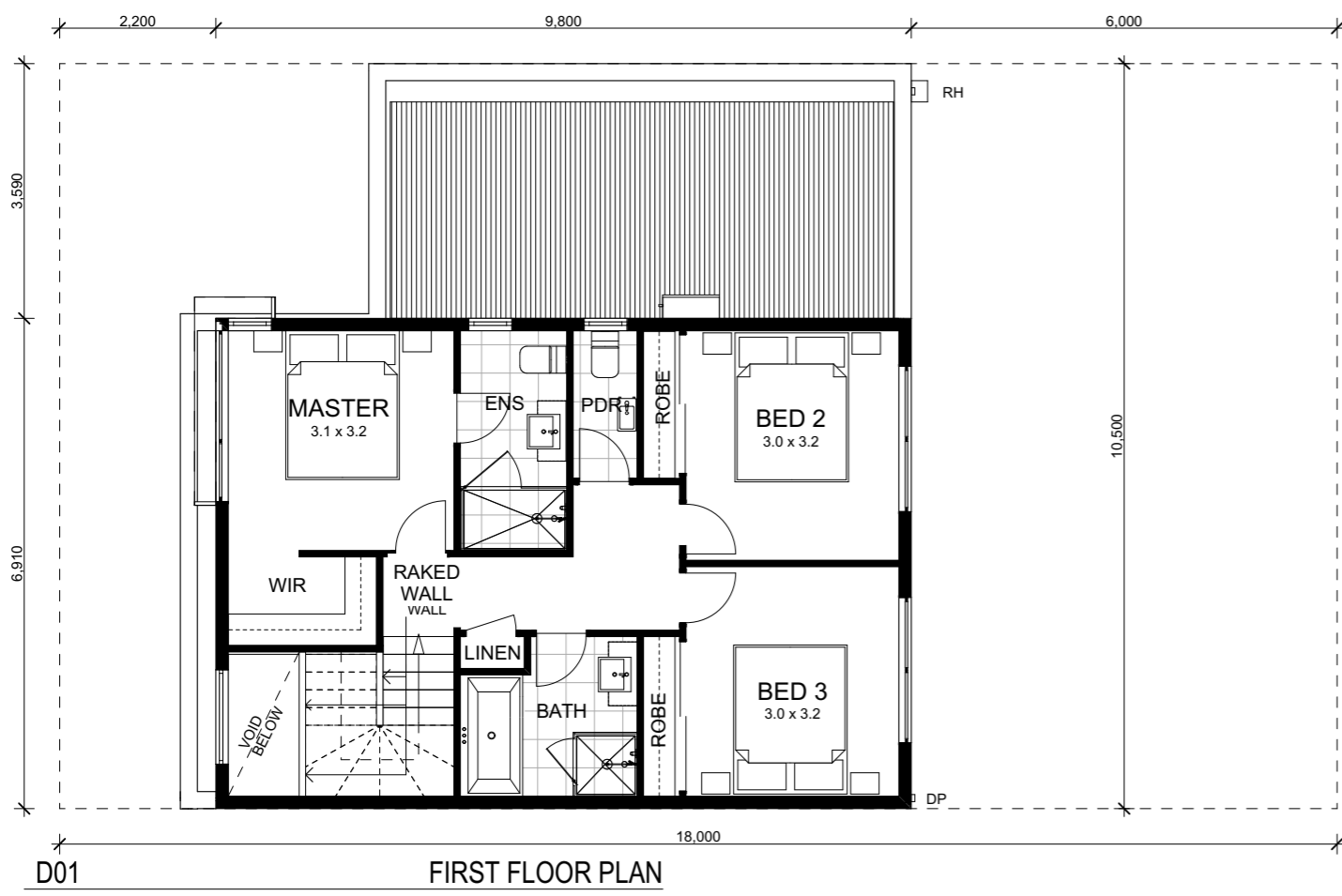
project no. estate scale
 1:200@A3

drawing name
EUCALYPT (S5) - ROOF PLAN

drawn MY	sheet 49
date 25.04.24	rev H

LOTS 31 and 33

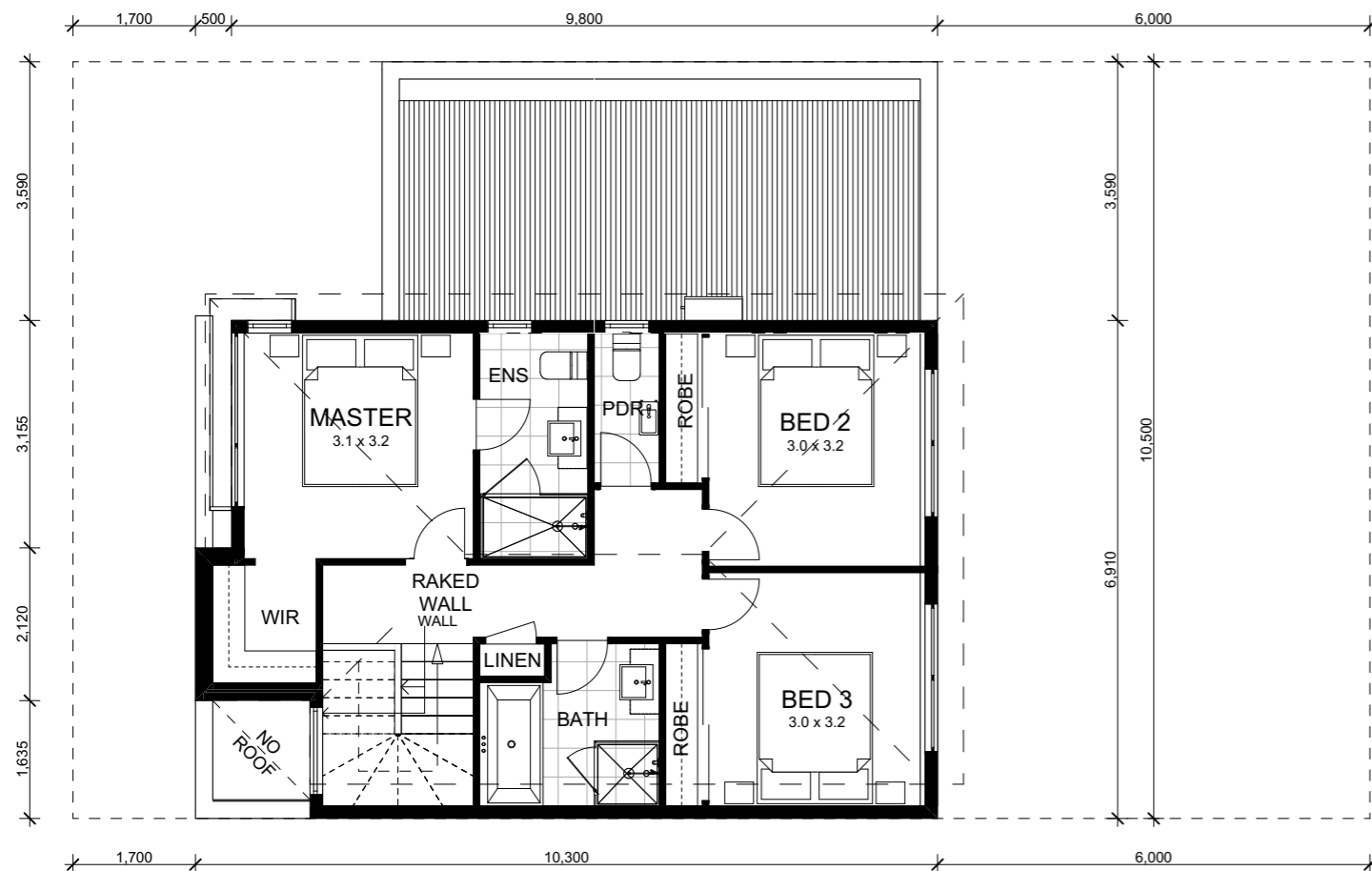
3 BEDS
2 BATHS
2 CARS



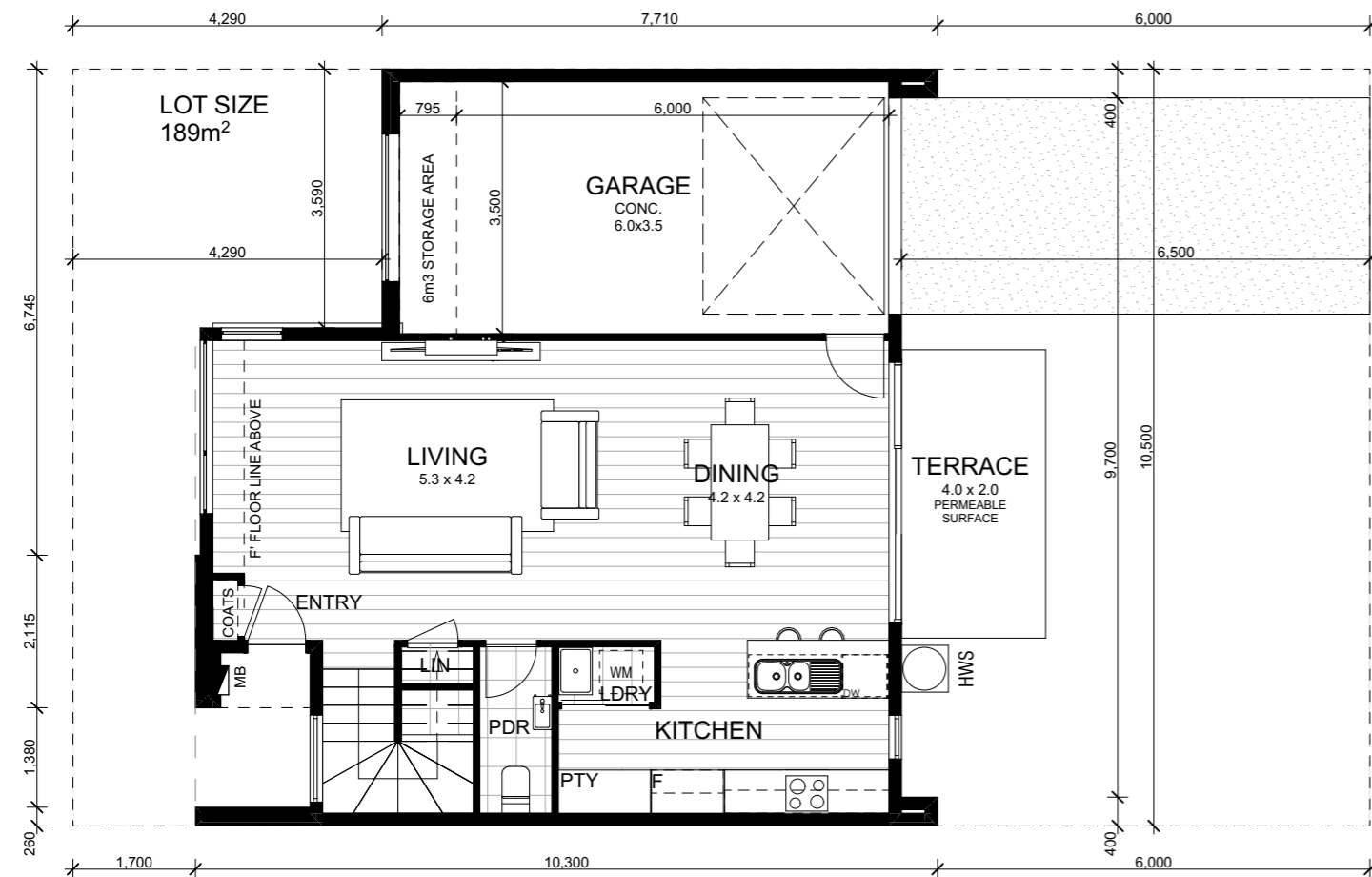
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 50 of 66
 Greater Dandenong City Council

AREA TYPE E - F1	
	AREA
GROUND FLOOR	64.20
FIRST FLOOR	67.62
GARAGE	27.00
PORCH	4.10
TOTAL	162.92 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL REF	30.09.21
C	TOWN PLANNING - COUNCIL REF	19.01.22
D	TOWN PLANNING - COUNCIL REF	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



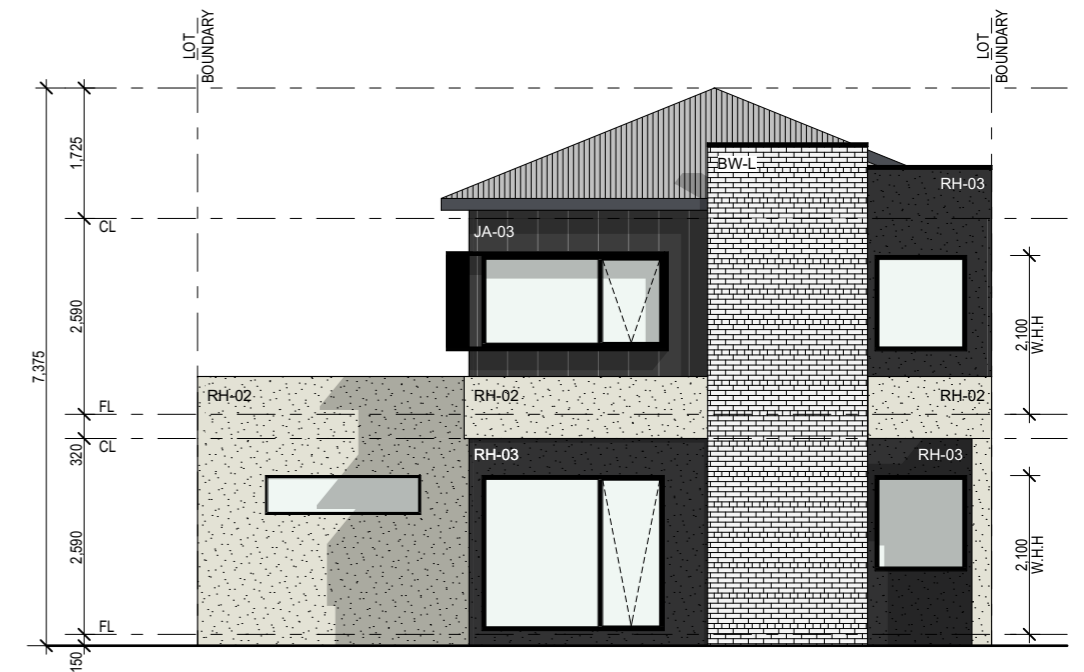
D01 FIRST FLOOR PLAN



D02 GROUND FLOOR PLAN

LOT 32

3 BEDS
2 BATHS
2 CARS



D03 FRONT ELEVATION

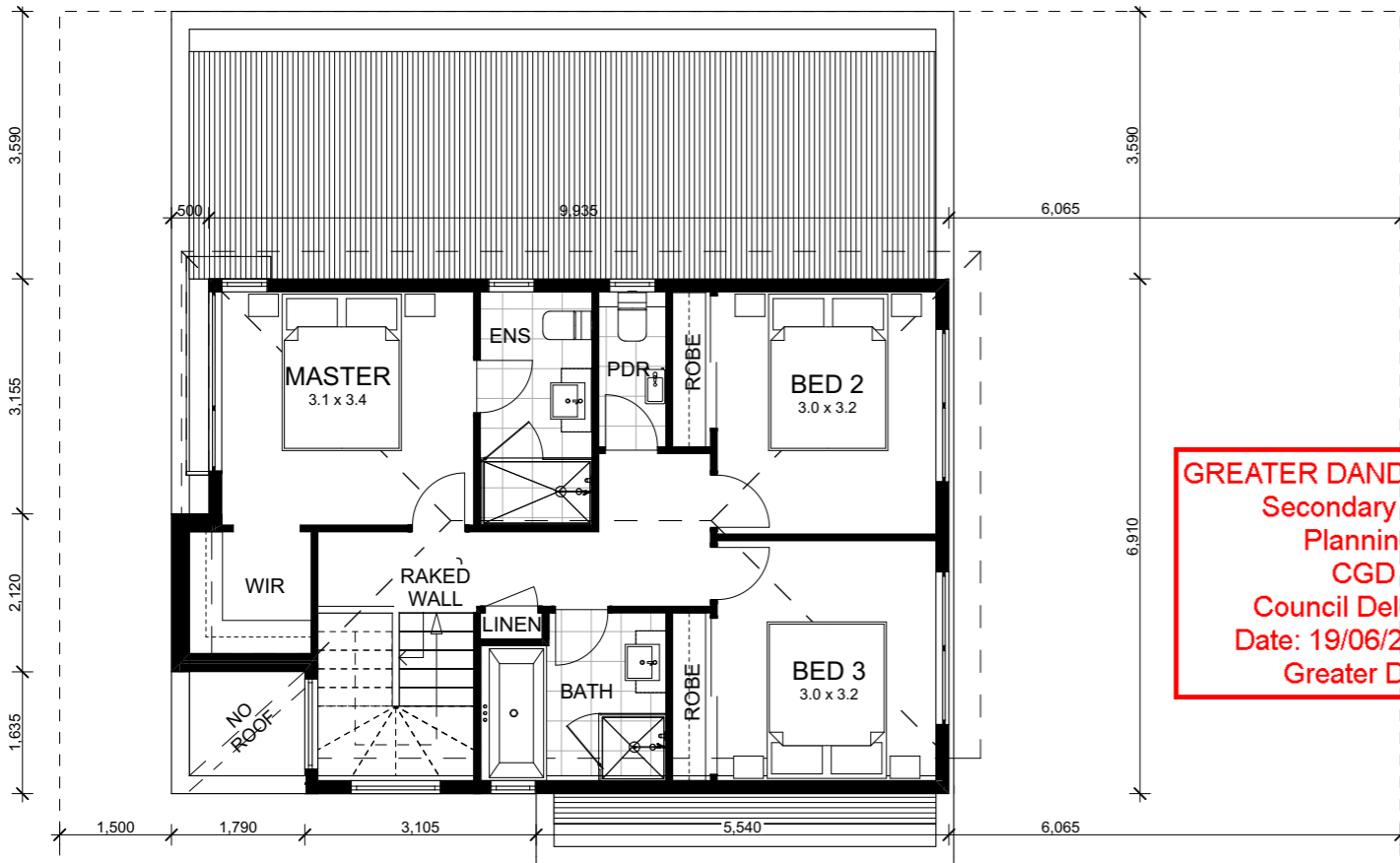


D04 REAR ELEVATION

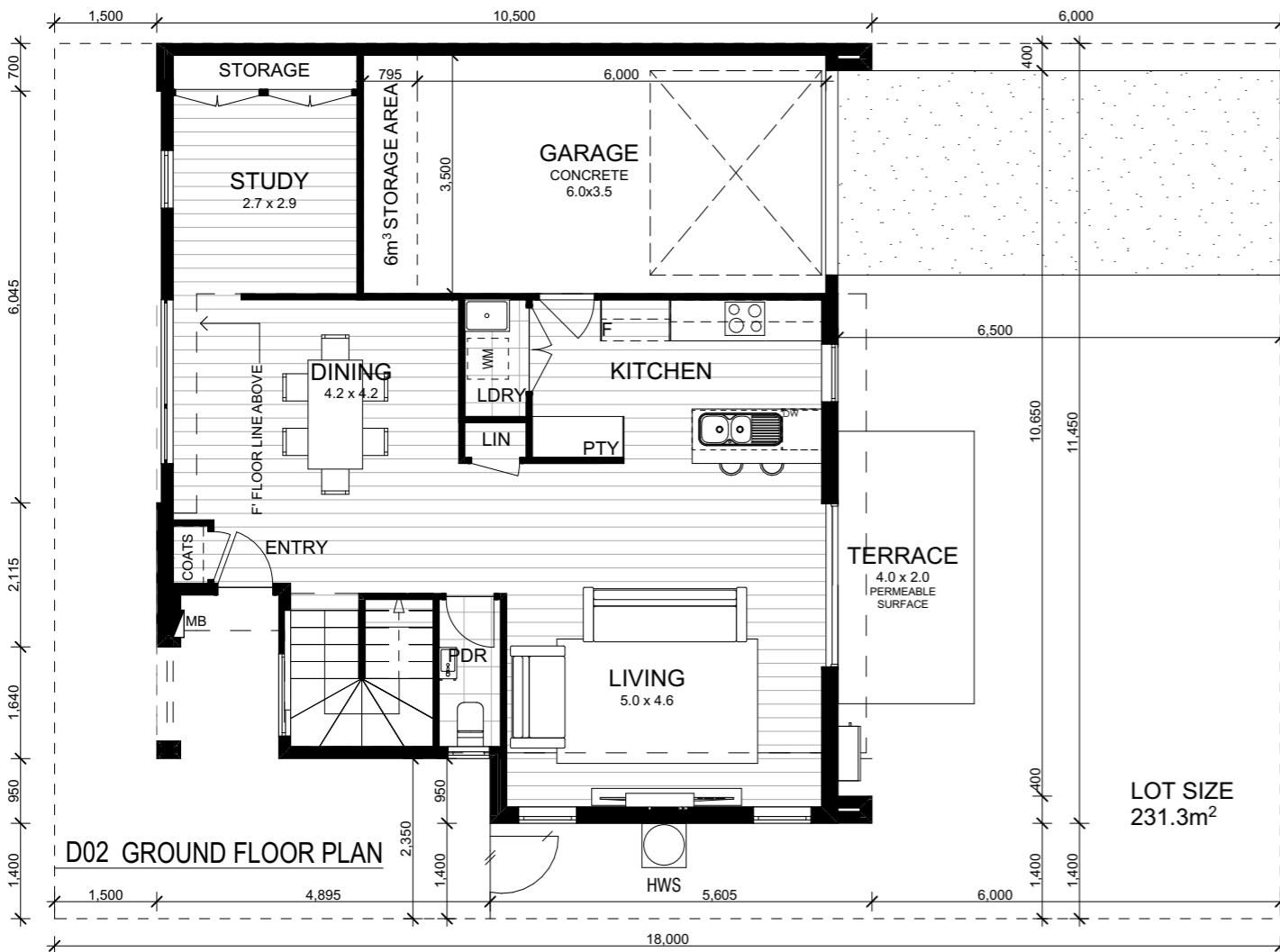
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 51 of 66
 Greater Dandenong City Council

AREA TYPE E - F2	AREA
GROUND FLOOR	63.23
FIRST FLOOR	66.36
GARAGE	27.34
PORCH	4.10
TOTAL	161.03 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

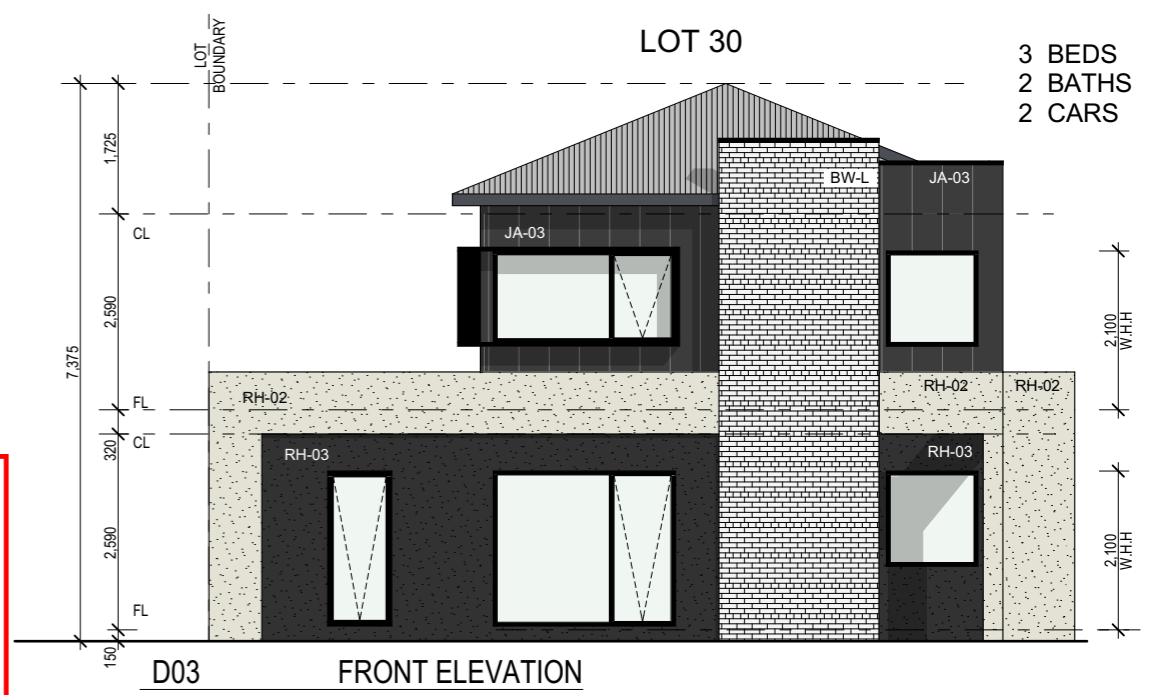


D01 FIRST FLOOR PLAN



D02 GROUND FLOOR PLAN

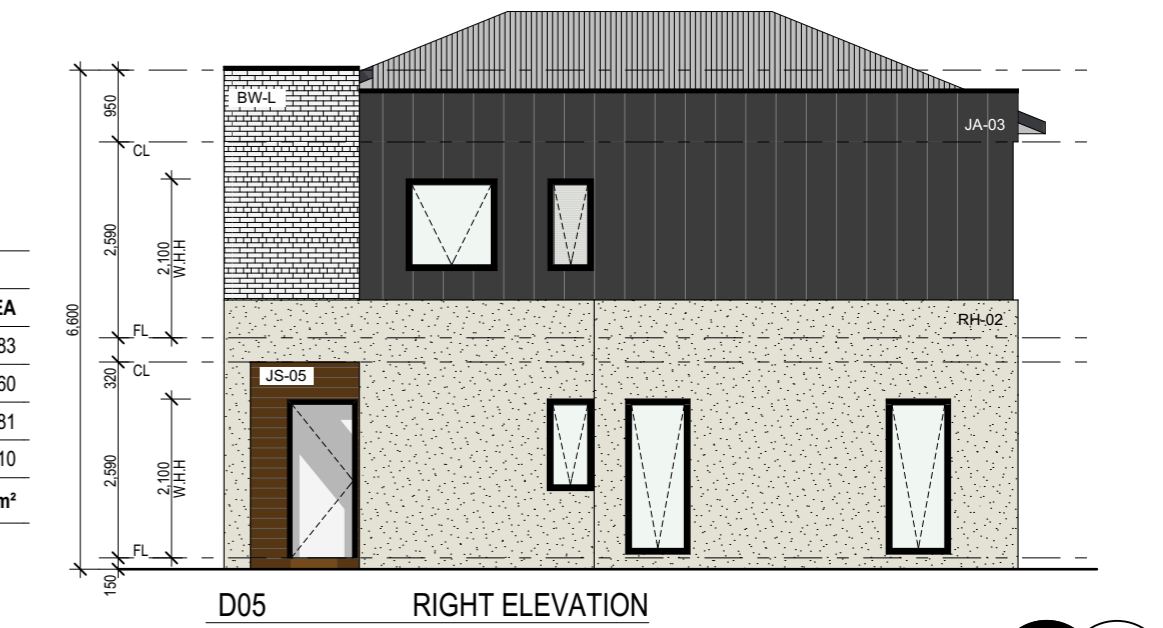
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 52 of 66
 Greater Dandenong City Council



D03 FRONT ELEVATION



D04 REAR ELEVATION

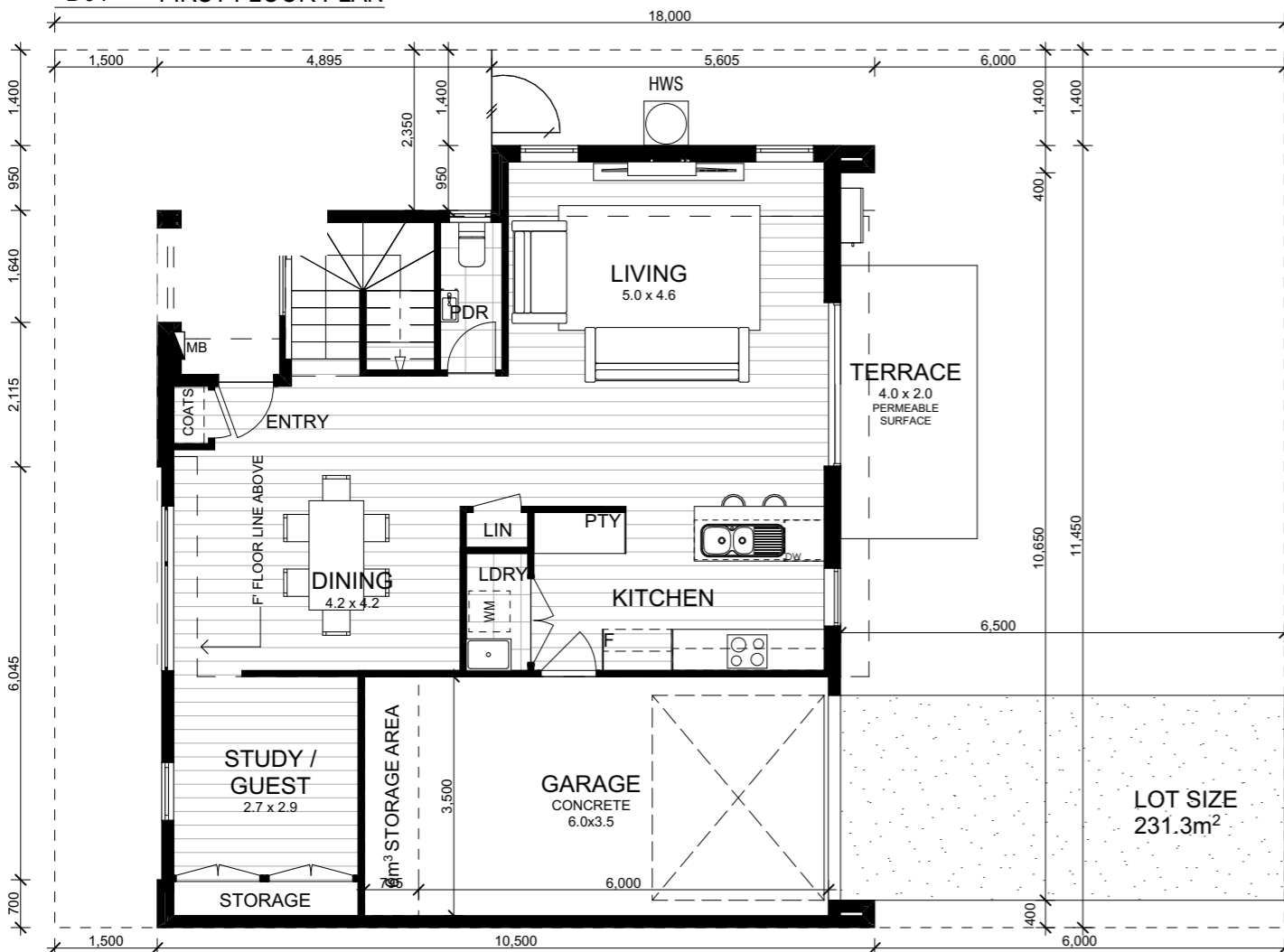


D05 RIGHT ELEVATION

AREA TYPE E END - F2	AREA
GROUND FLOOR	79.83
FIRST FLOOR	67.60
GARAGE	25.81
PORCH	4.10
TOTAL	177.34 m²



D01 FIRST FLOOR PLAN



D02 GROUND FLOOR PLAN

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 53 of 66
 Greater Dandenong City Council

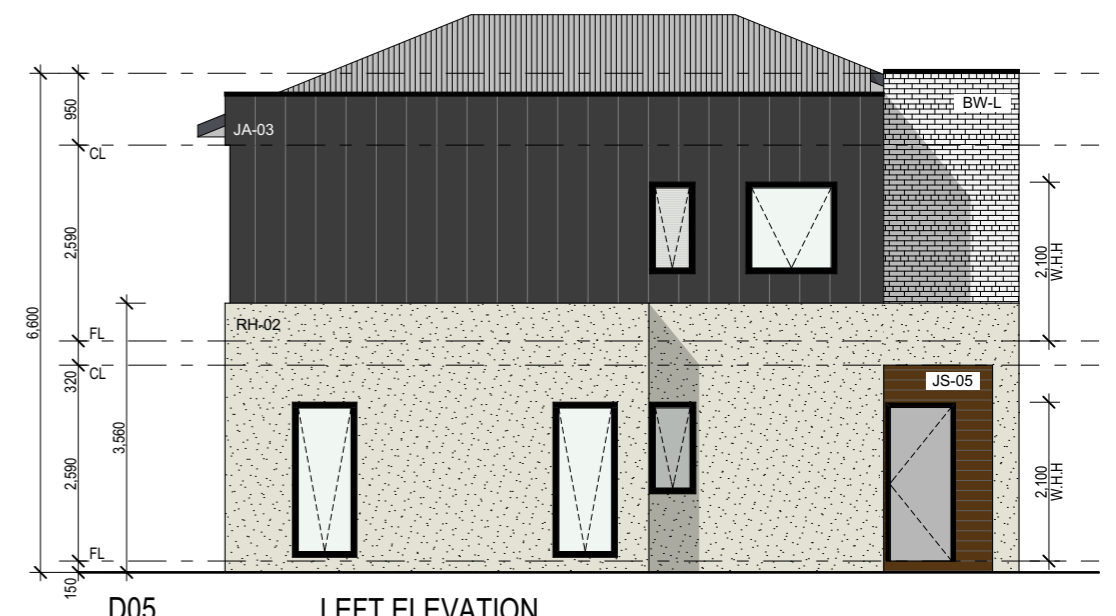
AREA TYPE E END - F2 (M)	AREA
GROUND FLOOR	79.83
FIRST FLOOR	67.60
GARAGE	25.81
PORCH	4.10
	177.34 m²



D03 FRONT ELEVATION



D04 REAR ELEVATION



D05 LEFT ELEVATION

3 BEDS
2 BATHS
2 CARS



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

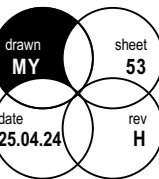
project
SPRINGVALE SOUTH
FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

site address
**15 -29 COOMOORA ROAD
SPRINGVALE SOUTH VIC 3172**

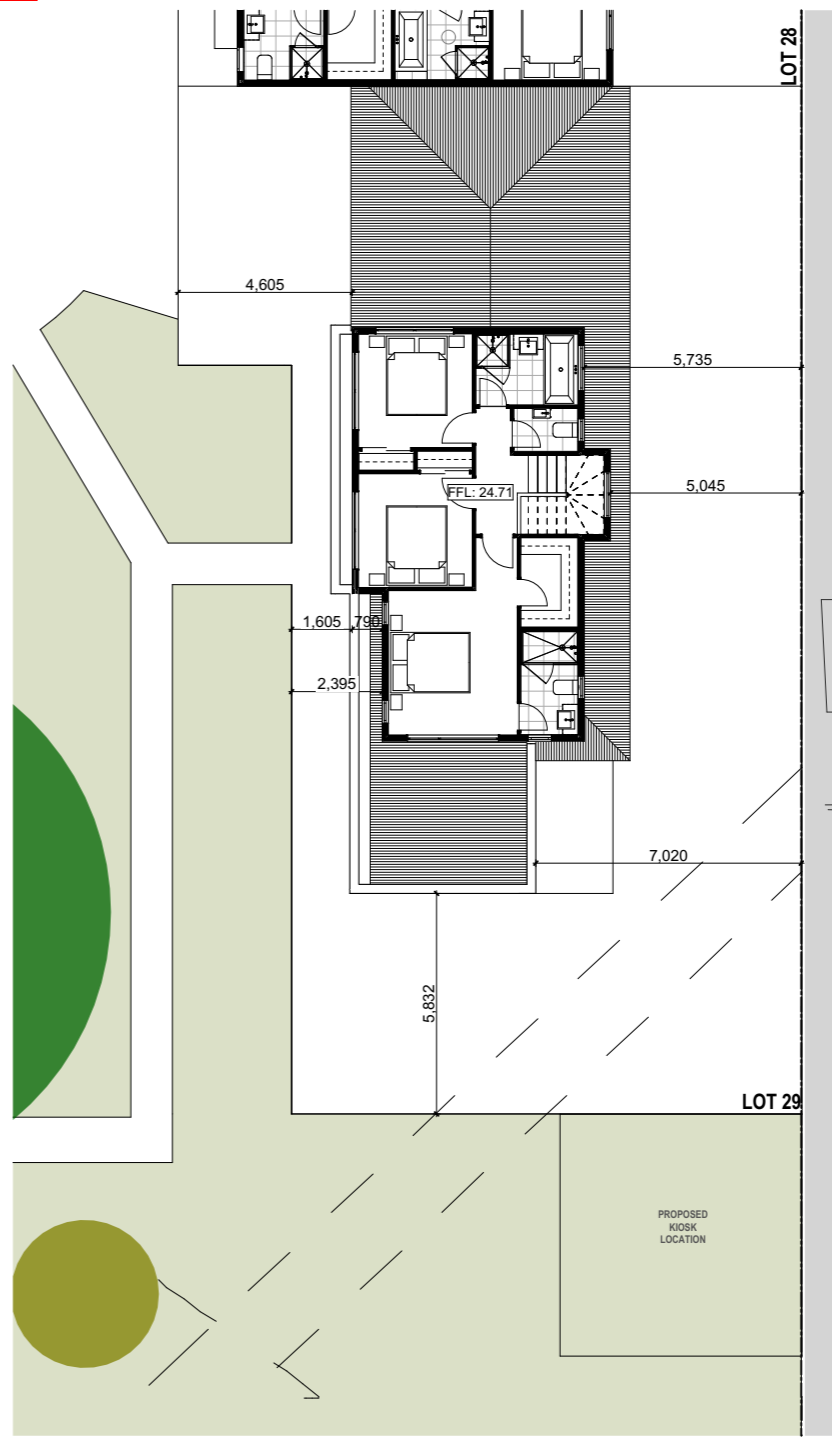
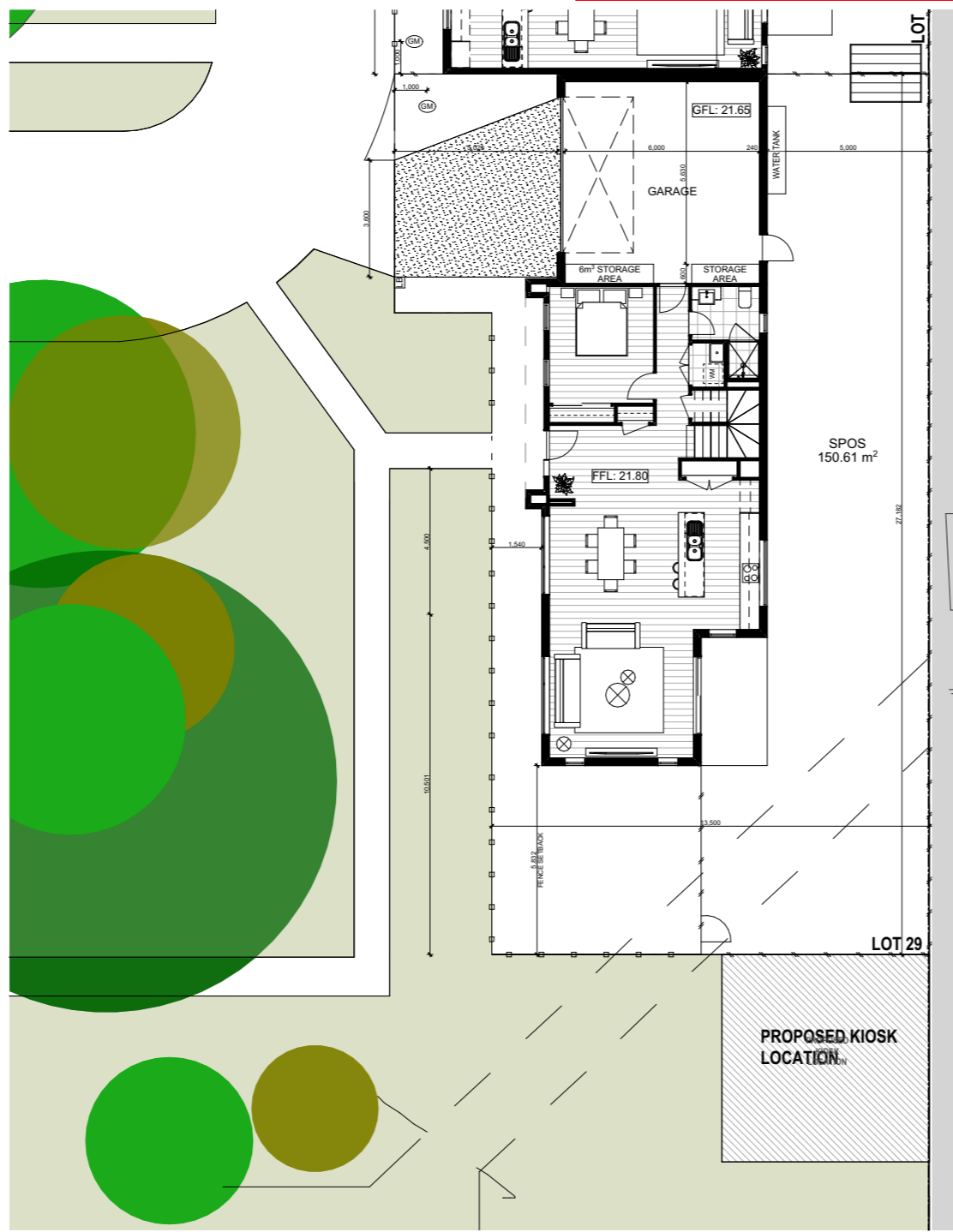
client
DEVELOPMENT VICTORIA

project no. estate scale
1:100@A3

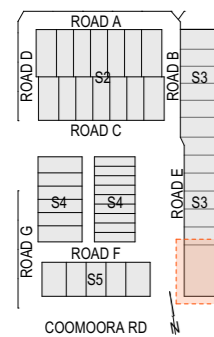
drawing name
EUCALYPT END (M) - FACADE 2



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 54 of 66
 Greater Dandenong City Council



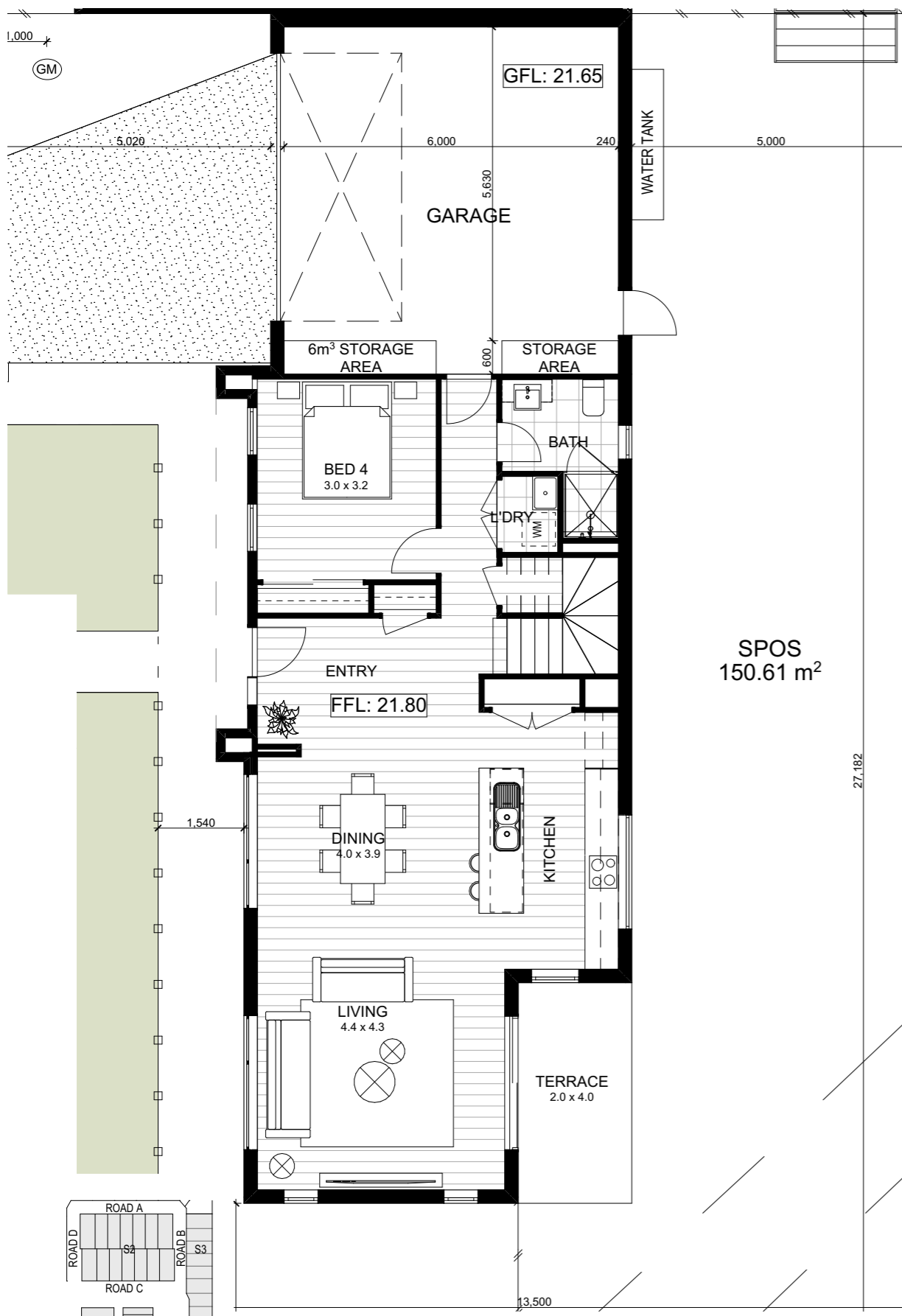
AREA TYPE E (S3) LOT 29	
	AREA
GROUND FLOOR	95.71
FIRST FLOOR	64.50
GARAGE	41.93
PORCH	4.10
TOTAL	206.24 m²



D01 | **LOT 29 - GROUND FLOOR**
1:200

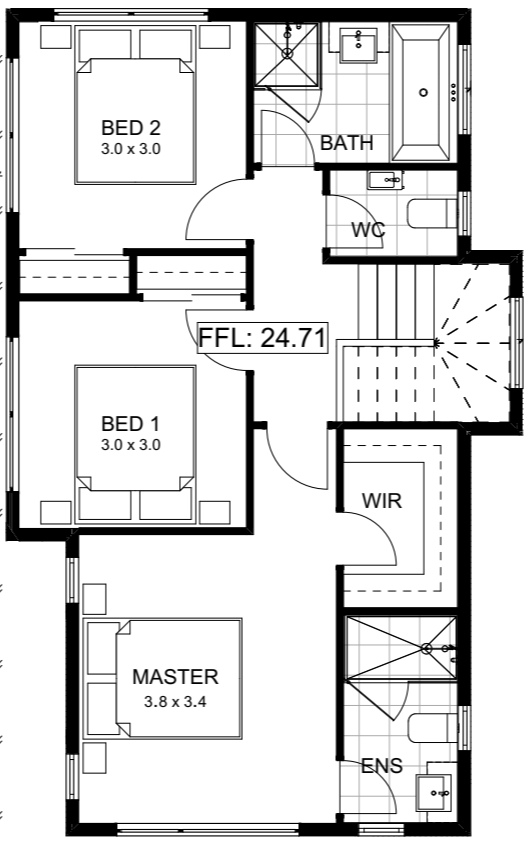
D02 | **LOT 29 - FIRST FLOOR**
1:200

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

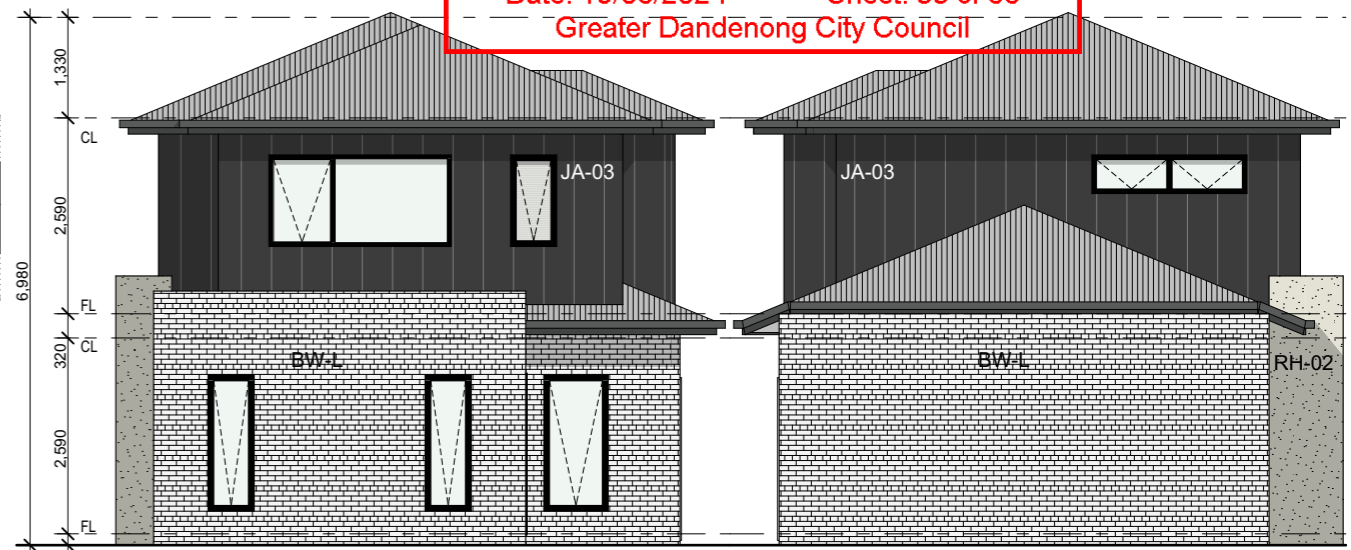


SPOS
150.61 m²

D01 LOT 29 - GROUND FLOOR
1:100



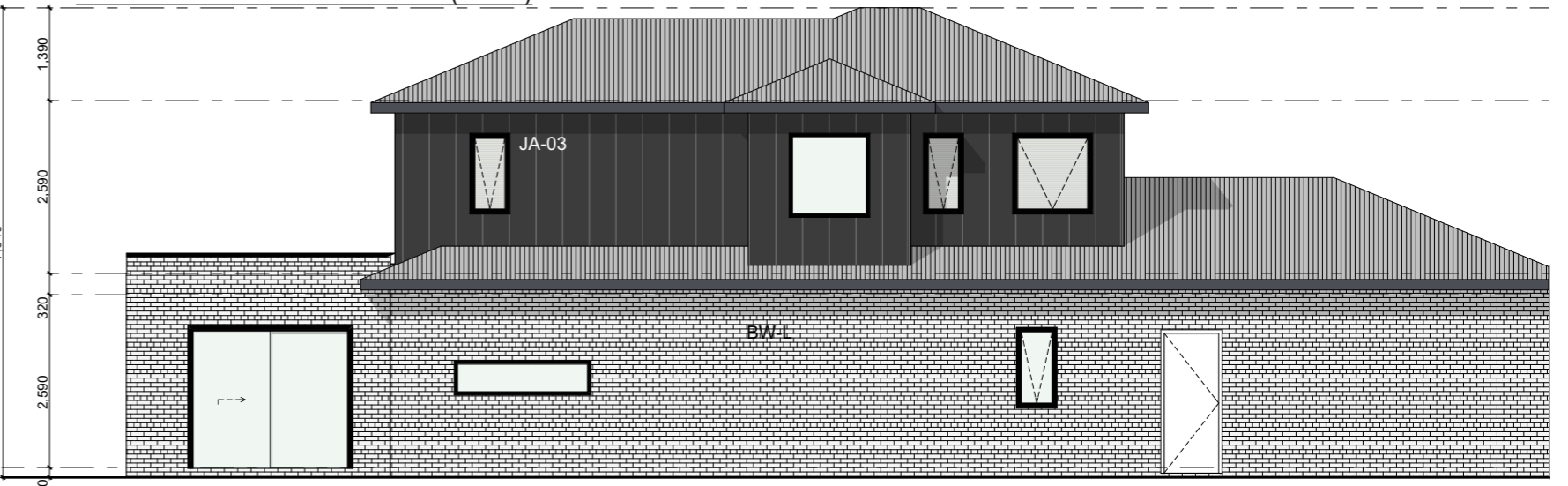
D02 LOT 29 - FIRST FLOOR
1:100



D03 SIDE ELEVATION (SOUTH) D08 SIDE ELEVATION (NORTH)

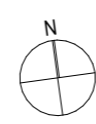


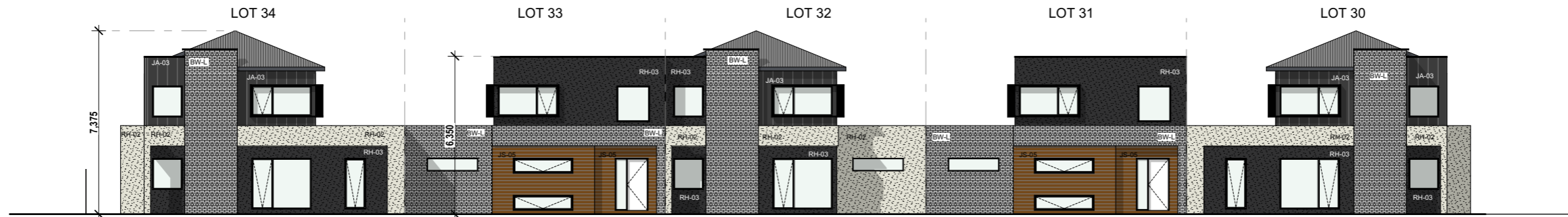
D06 FRONT ELEVATION LOT 29 (WEST)



D0 REAR ELEVATION LOT 29 (EAST)

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24





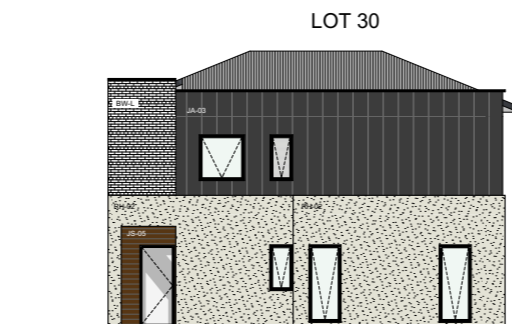
D01 COOMOORA RD (SOUTH)



D02 REAR ELEVATION (NORTH)



D03 SIDE ELEVATION (WEST)

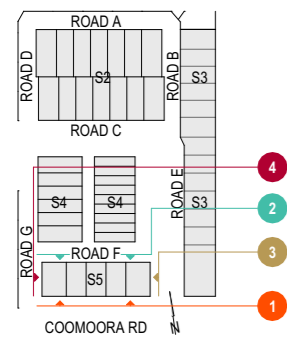


D04 SIDE ELEVATION (EAST)

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 56 of 66
 Greater Dandenong City Council

NOTE:
 ALL HABITABLE ROOM WINDOWS TO BE
 DOUBLE GLAZED

MATERIALS SCHEDULE									
	BW Brickwork Dark colour or similar		BW Brickwork Light colour or similar		JS James Hardie STRIA 325 Lightweight Cladding Paint finish		JA1 James Hardie Axon 133 Lightweight Cladding Paint finish		
	JA James Hardie Axon 400 Lightweight Cladding Paint finish		JE James Hardie Easylap Lightweight Cladding Paint Finish		RH Textured render finish		GD Garage Door Sectional panel lift		
	Coloured Concrete Driveways Monument color or similar								
COLOUR SCHEDULE									
	Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar		Windows Obscure glazing		Roofs Colorbond Colour - Surfmist or similar		Fascia & Gutters Colour - Monument or similar		Colour -01 Shale Grey or similar
	Colour -02 Surfmist or similar		Colour -03 Monument or similar		Colour -04 Basalt or similar		Colour -05 Terrain or similar		

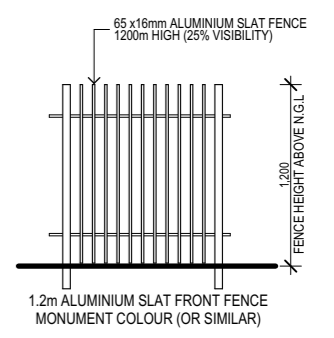
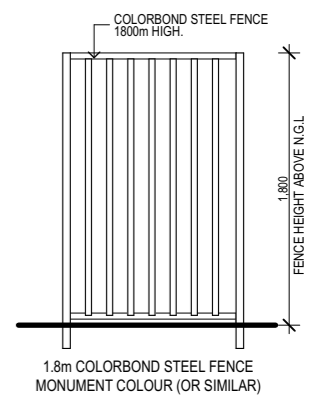
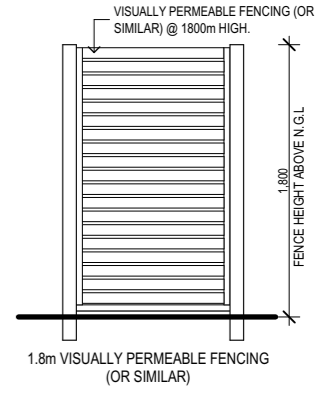
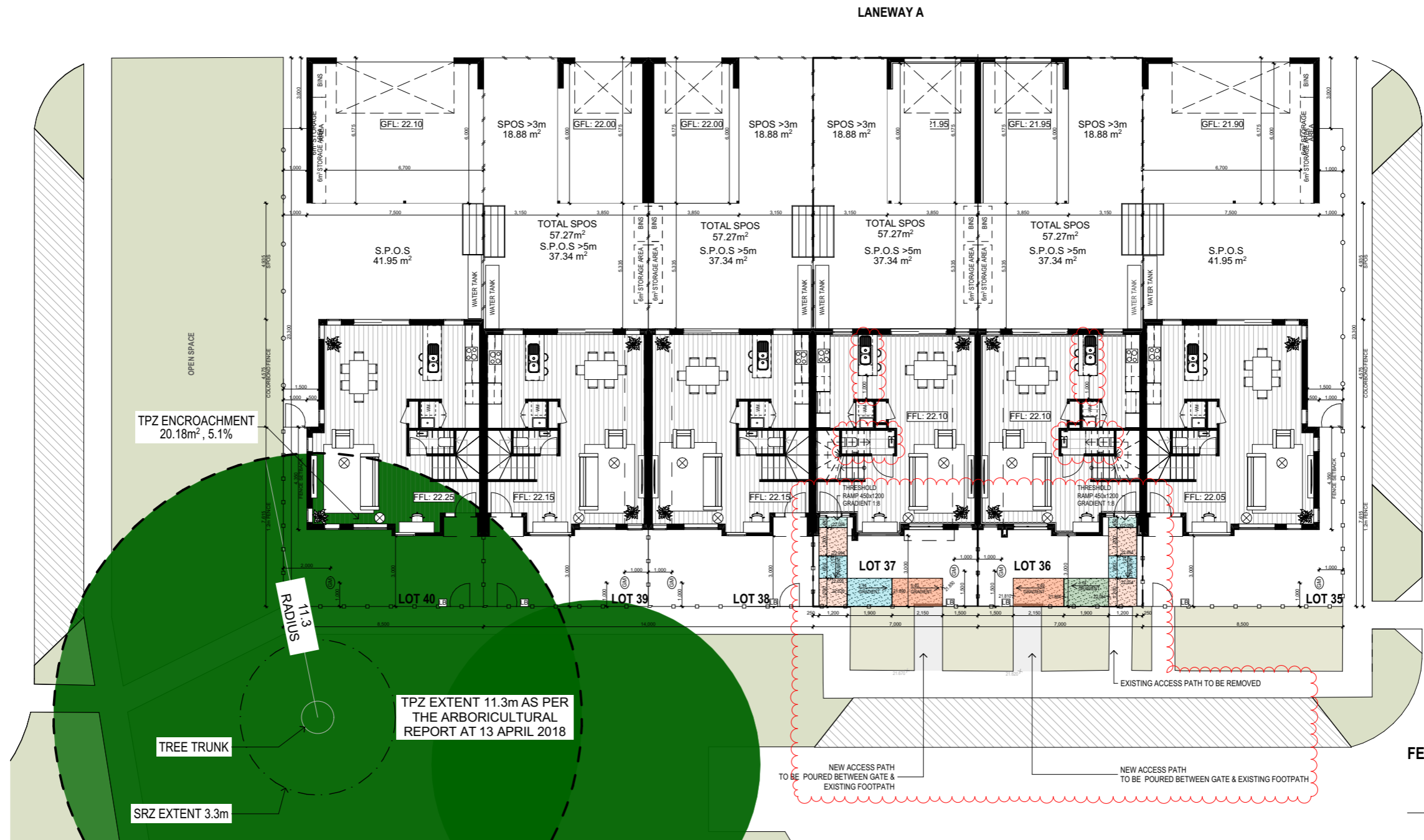


rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

NOTE:
1 X 7 KW 32 AMP ISOLATOR FOR FUTURE ELECTRIC VEHICLE CHARGER CONNECTION TO BE INSTALLED IN ALL GARAGES

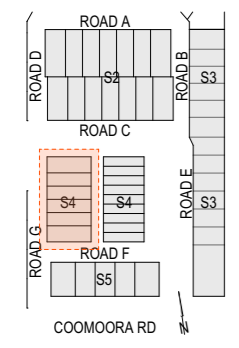
- FLAT LANDING
- WALKWAY/ LANDING
GRADIENT 1:40 MAX
- STEP RAMP
GRADIENT 1:10 MAX
- RAMP GRADIENT 1:14 MAX
- 450x1200mm THRESHOLD
RAMP GRADIENT 1:8 MAX

GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 57 of 66
Greater Dandenong City Council



FENCING LEGEND

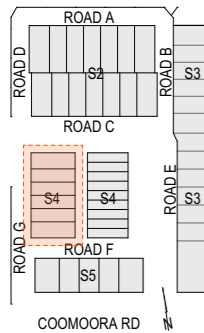
- 1.2m HIGH ALUMINIUM FRONT FENCE
25% PERMEABILITY
- 1.8m HIGH COLORBOND FENCE
- VISUALLY PERMEABLE FENCING (OR SIMILAR) @ 1800mm HIGH (MINIMUM 10% TRANSPARENCY)



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



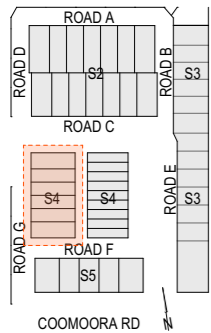
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 58 of 66
 Greater Dandenong City Council



rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL REF	30.09.21
C	TOWN PLANNING - COUNCIL REF	19.01.22
D	TOWN PLANNING - COUNCIL REF	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 59 of 66
 Greater Dandenong City Council



TPZ ENCROACHMENT
20.18m², 5.1%

RADIUS
11.3

TPZ EXTENT 11.3m AS PER
THE ARBORICULTURAL
REPORT AT 13 APRIL 2018

TREE TRUNK

SRZ EXTENT 3.3m

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 60 of 66
 Greater Dandenong City Council



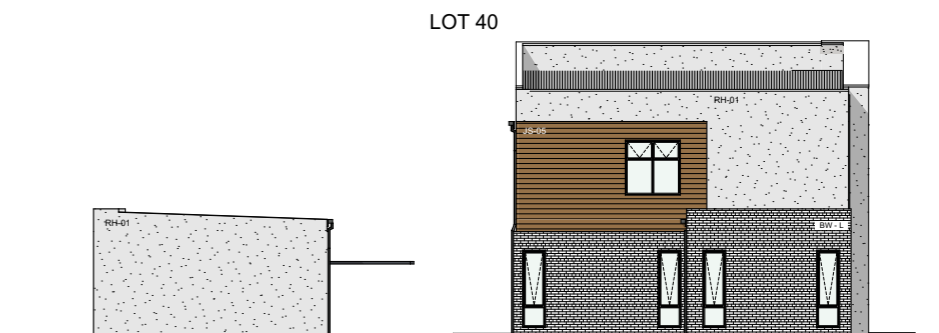
D01 ROAD G (WEST)



D03 SIDE ELEVATION (SOUTH)

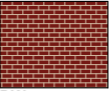
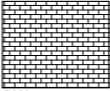
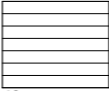
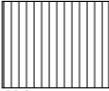
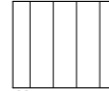
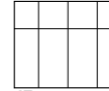
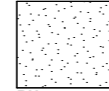
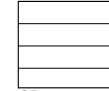


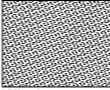









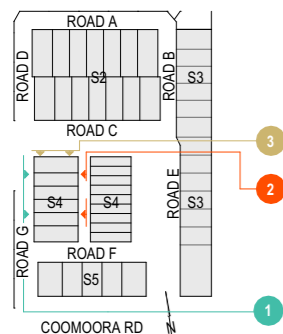
D02 REAR-LANEWAY (EAST)



D04 SIDE ELEVATION (NORTH)

NOTE:
ALL HABITABLE ROOM WINDOWS TO BE
DOUBLE GLAZED

MATERIALS SCHEDULE								
								
BW Brickwork Dark colour or similar	BW Brickwork Light colour or similar	JS James Hardie STRIA 325 Lightweight Cladding Paint finish	JA1 James Hardie Axon 133 Lightweight Cladding Paint finish	JA James Hardie Axon 400 Lightweight Cladding Paint finish	JE James Hardie Easylap Lightweight Cladding Paint Finish	RH Textured render finish	GD Garage Door Sectional panel lift	Coloured Concrete Driveways Monument color or similar
COLOUR SCHEDULE								
								
Windows / Door Frames / SHROUDS Powder Coated Aluminium Colour - Monument or similar	Windows Obscure glazing	Roofs Colorbond Colour - Surfmist or similar	Facsia & Gutters Colour - Monument or similar	Colour -01 Shale Grey or similar	Colour -02 Surfmist or similar	Colour -03 Monument or similar	Colour -04 Basalt or similar	Colour -05 Terrain or similar

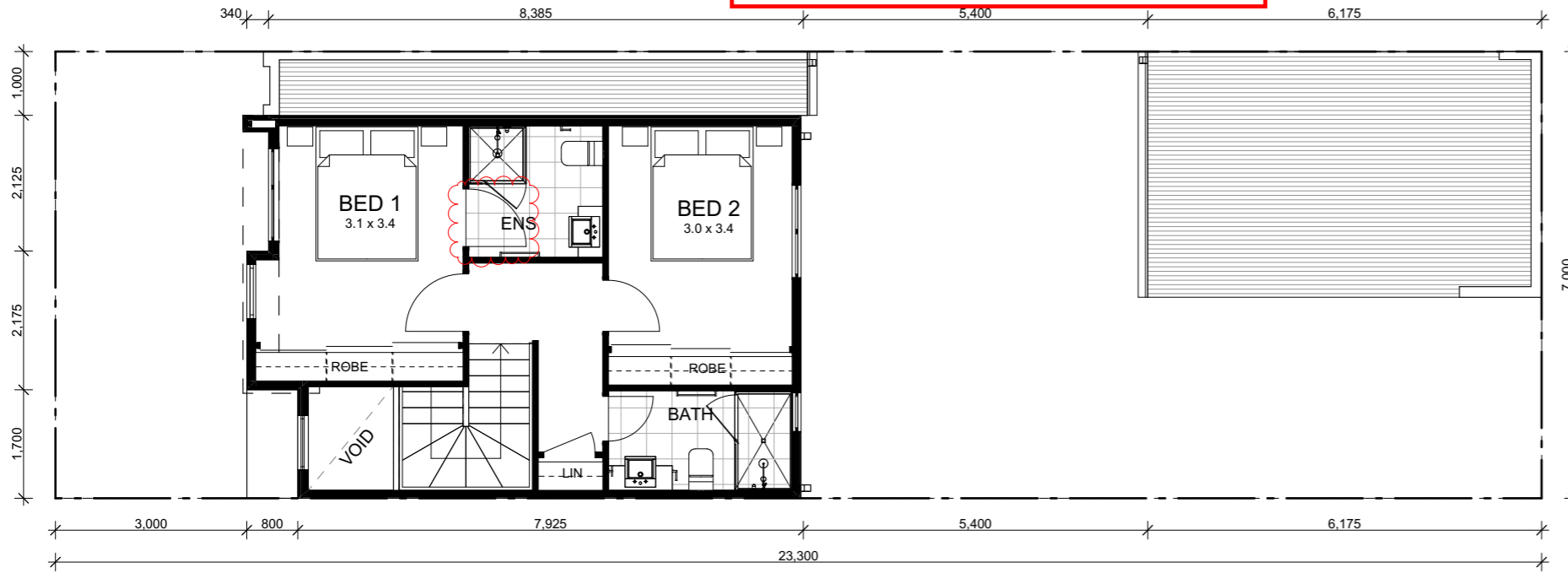


rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 61 of 66
 Greater Dandenong City Council

LOT 36

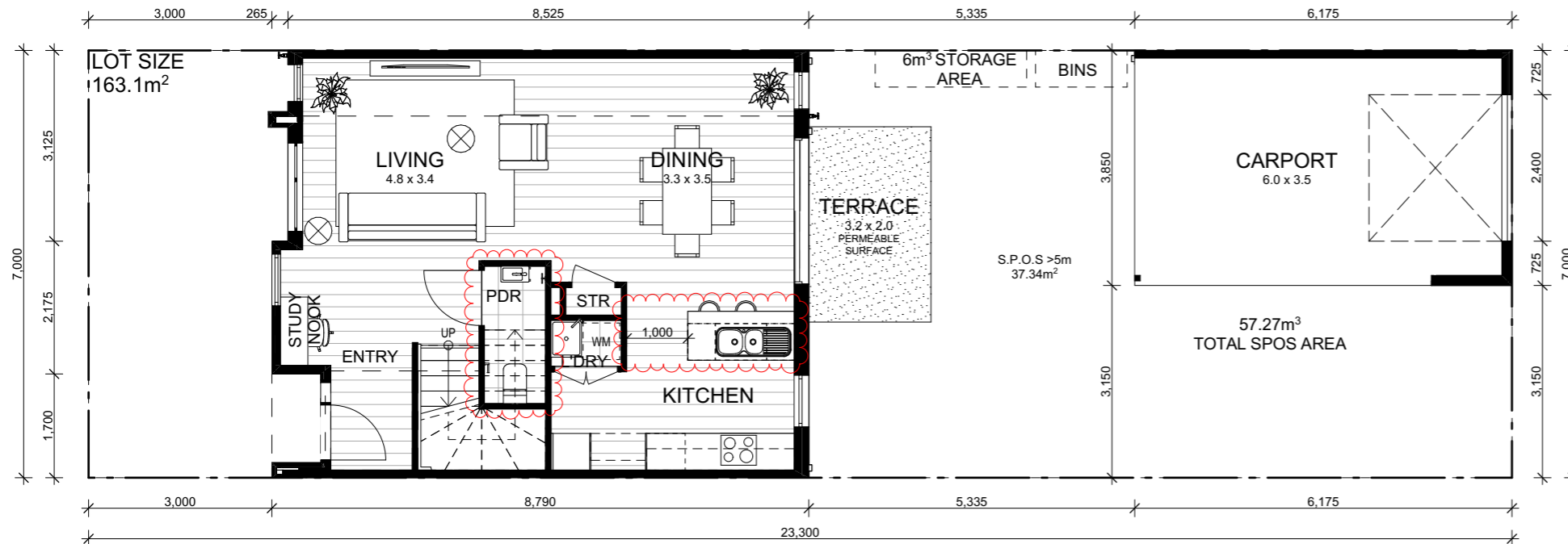
2 BEDS
 2 BATHS
 1 CAR



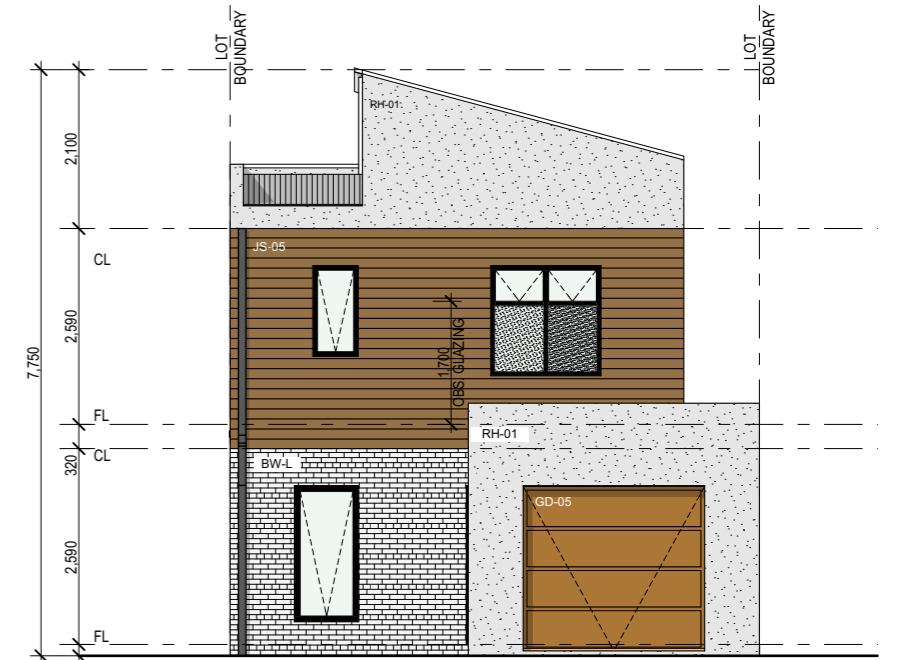
D02 | **FIRST FLOOR PLAN**
1:100



D03 | **FRONT ELEVATION**
1:100



D01 | **GROUND FLOOR PLAN**
1:100



D04 | **REAR ELEVATION**
1:100

AREA TYPE F - FACADE 1	
	AREA
GROUND FLOOR	59.56
FIRST FLOOR	50.15
PORCH	4.10
CARPORT	23.77
TOTAL	137.58 m²



creationhomes

LEVEL 12, 484 ST.KILDA ROAD MELBOURNE VIC 3004
 p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
 This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

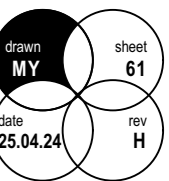
project
SPRINGVALE SOUTH
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.

site address
**15 -29 COOMOORA ROAD
 SPRINGVALE SOUTH VIC 3172**

client
DEVELOPMENT VICTORIA

project no. estate scale
 1:100@A3

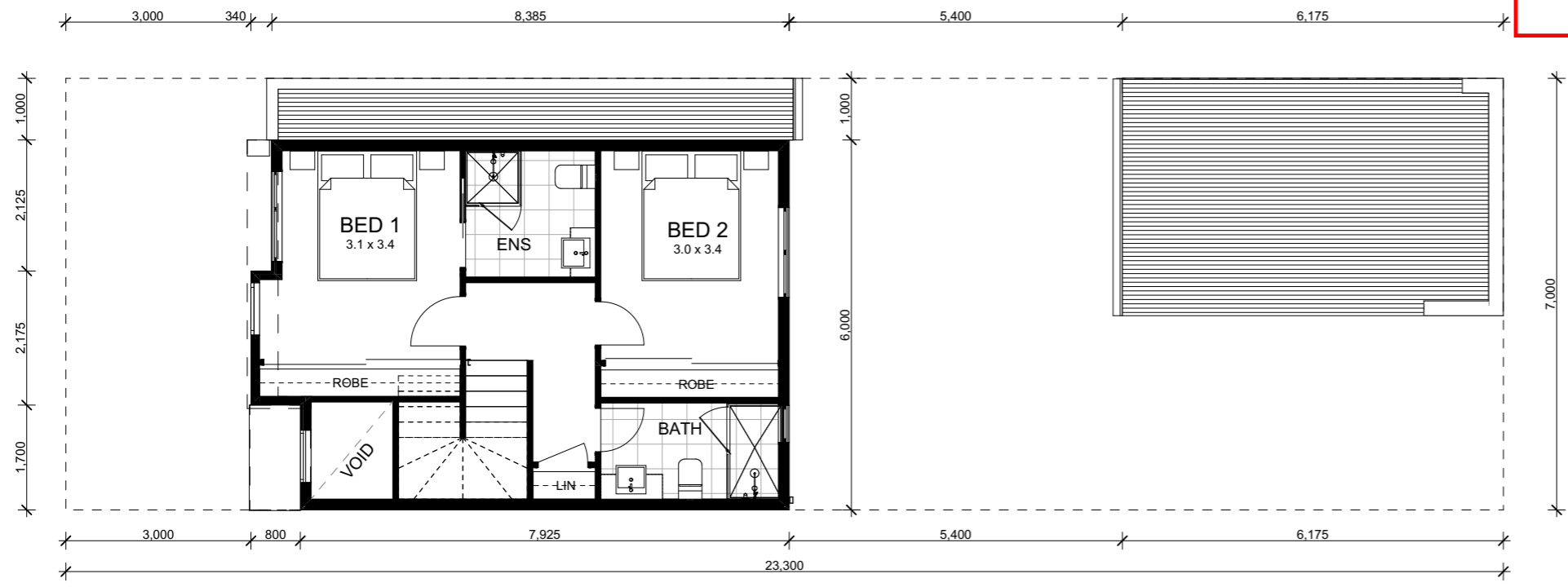
drawing name
FICUS - FACADE 1



GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 62 of 66
 Greater Dandenong City Council

LOT 38

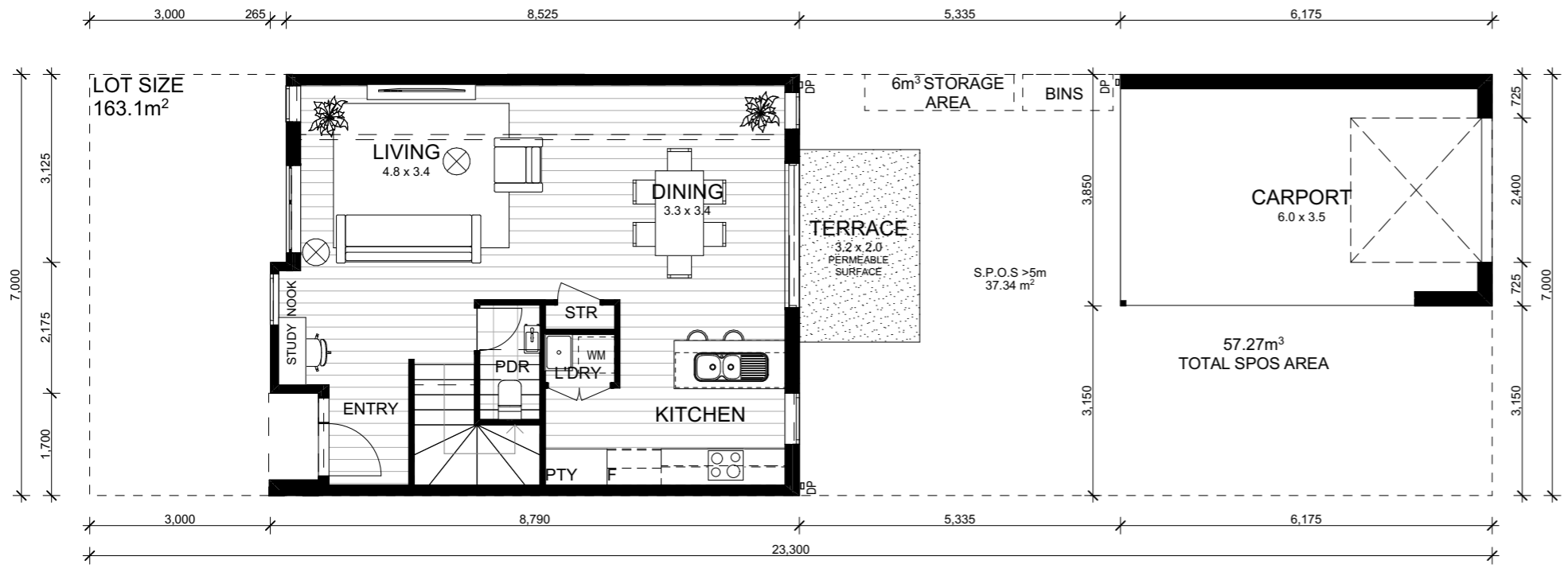
2 BEDS
 2 BATHS
 1 CAR



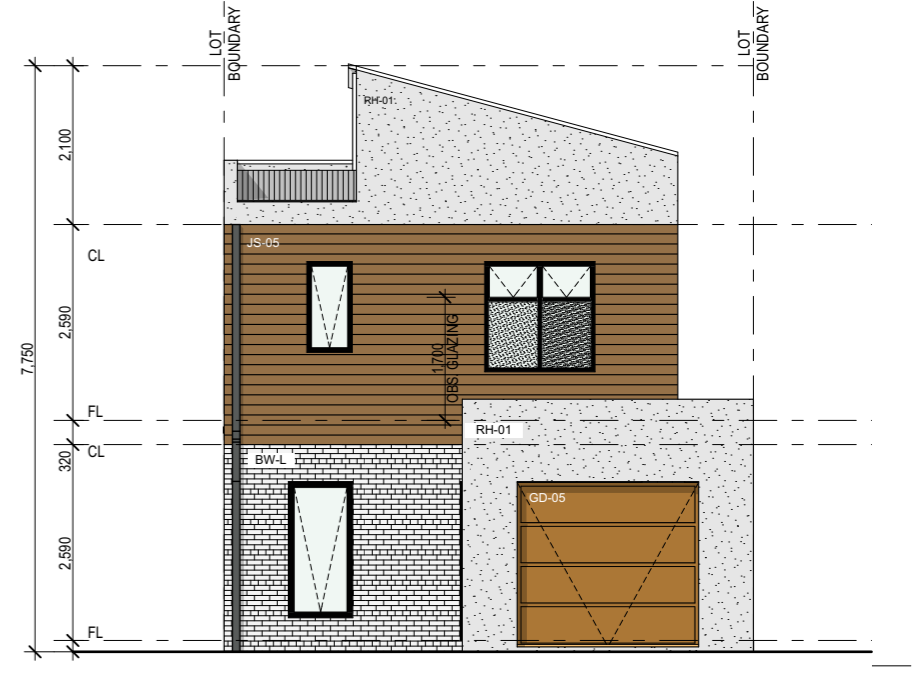
D02 | **FIRST FLOOR PLAN**
1:100



D03 | **FRONT ELEVATION**
1:100



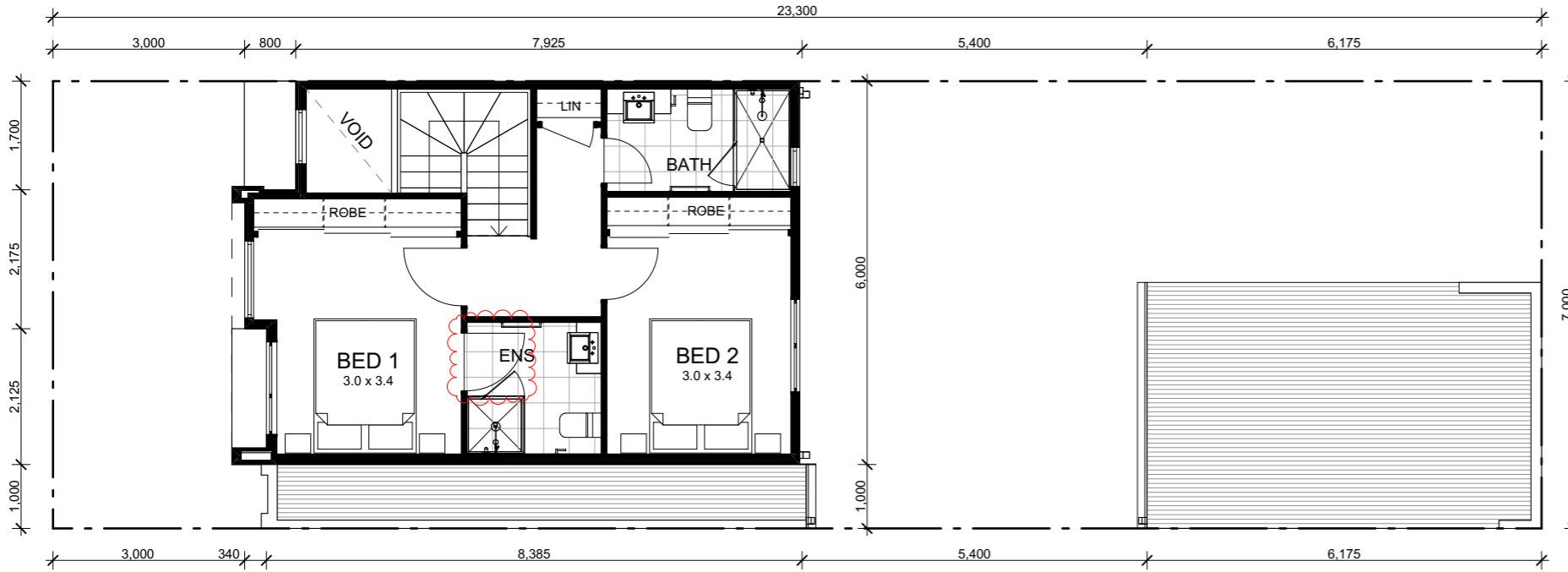
D01 | **GROUND FLOOR PLAN**
1:100



D04 | **REAR ELEVATION**
1:100

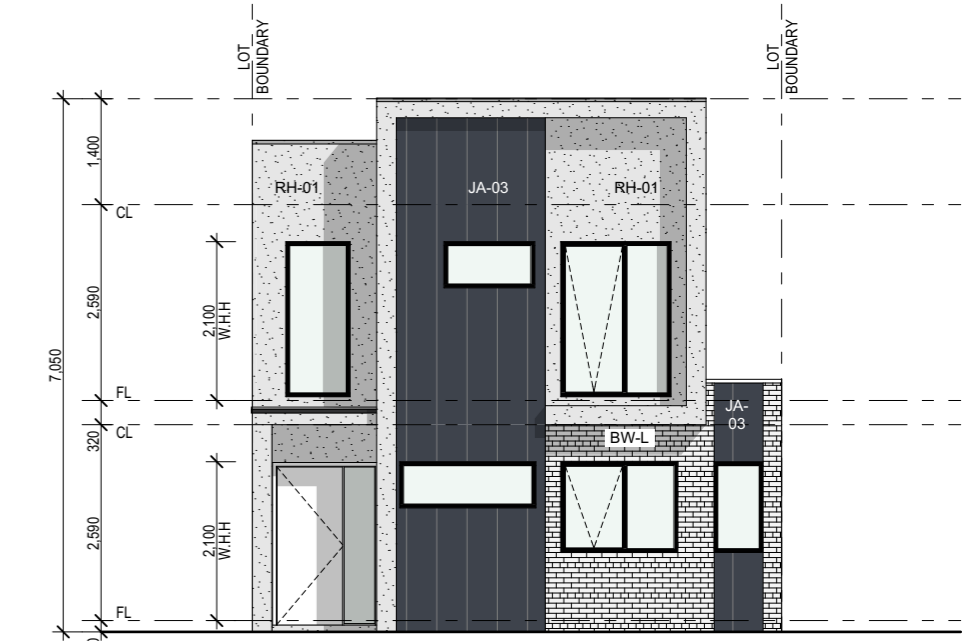
AREA TYPE F - FACADE 1	
	AREA
GROUND FLOOR	59.56
FIRST FLOOR	50.15
PORCH	4.10
CARPORT	23.77
TOTAL	137.58 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

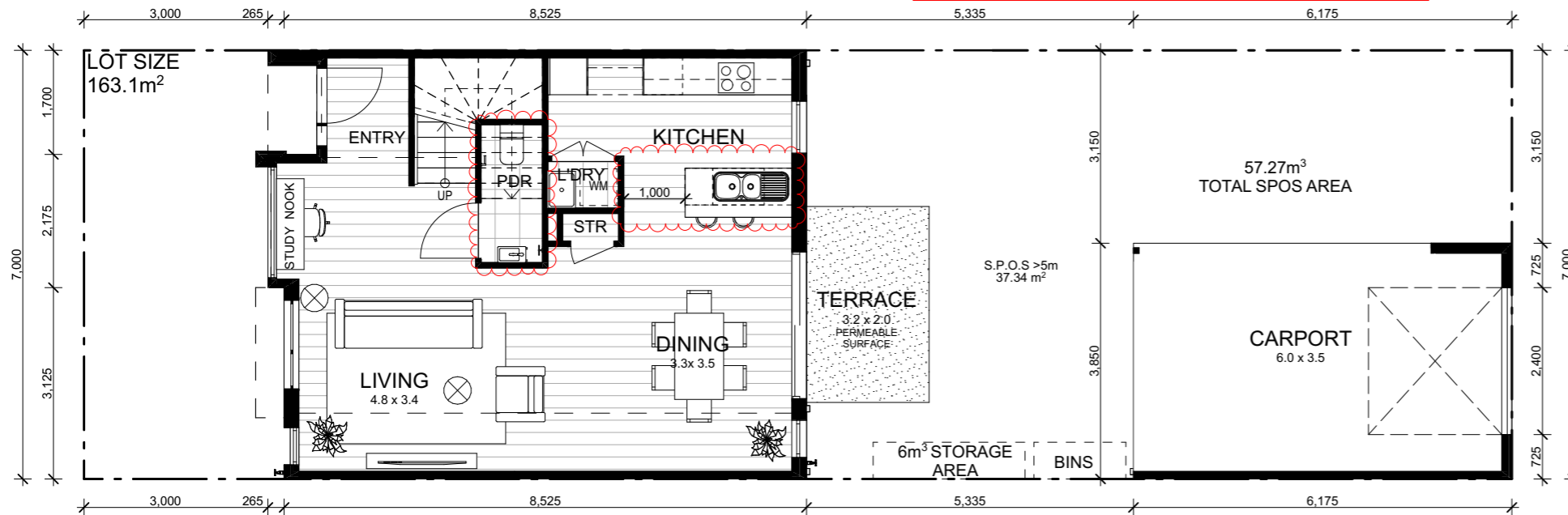


D02 FIRST FLOOR PLAN
1:100

GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 63 of 66
 Greater Dandenong City Council



D06 FRONT ELEVATION
1:100



D01 GROUND FLOOR PLAN
1:100



D07 REAR ELEVATION
1:100

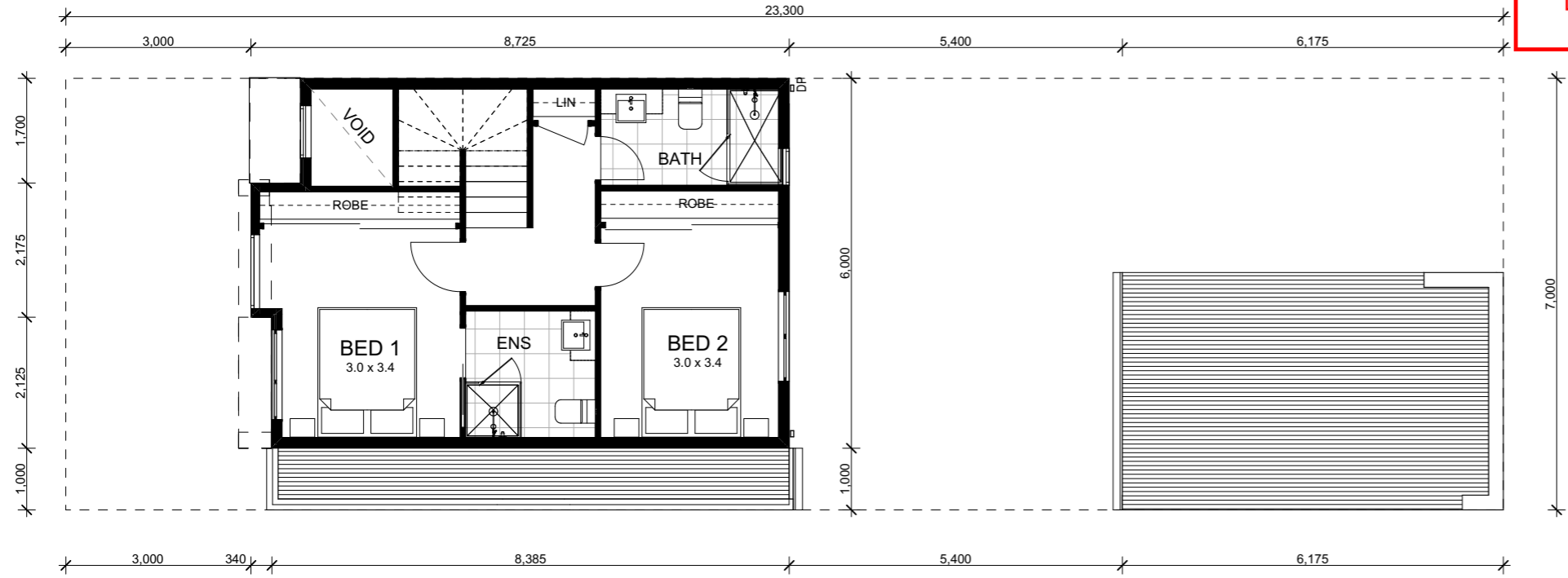
AREA TYPE F - FACADE 2	
	AREA
GROUND FLOOR	59.54
FIRST FLOOR	50.26
CARPORT	23.77
PORCH	4.10
TOTAL	137.67 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FFLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

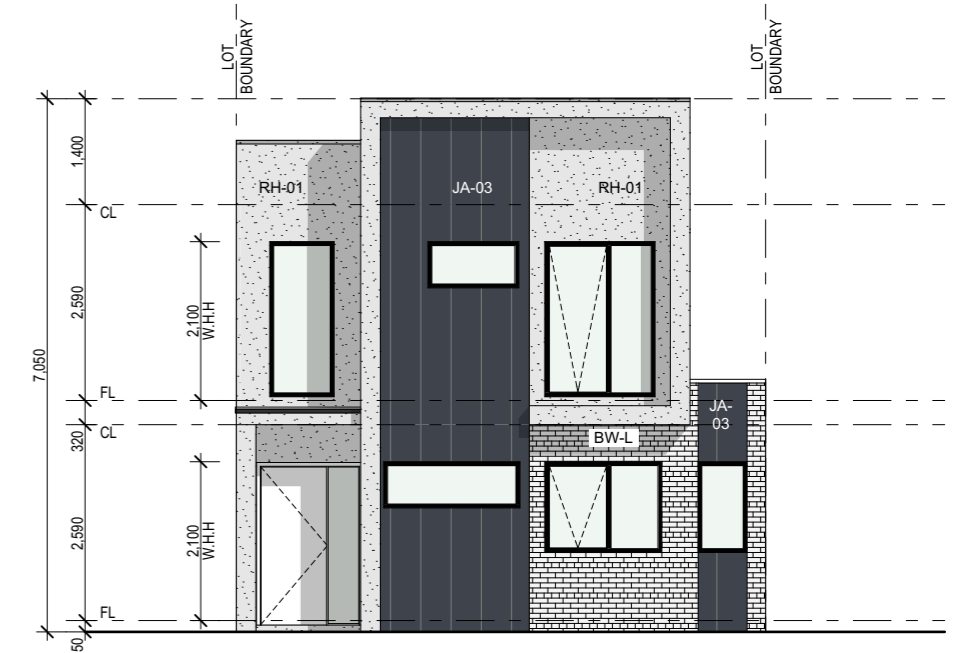
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 64 of 66
 Greater Dandenong City Council

LOT 39

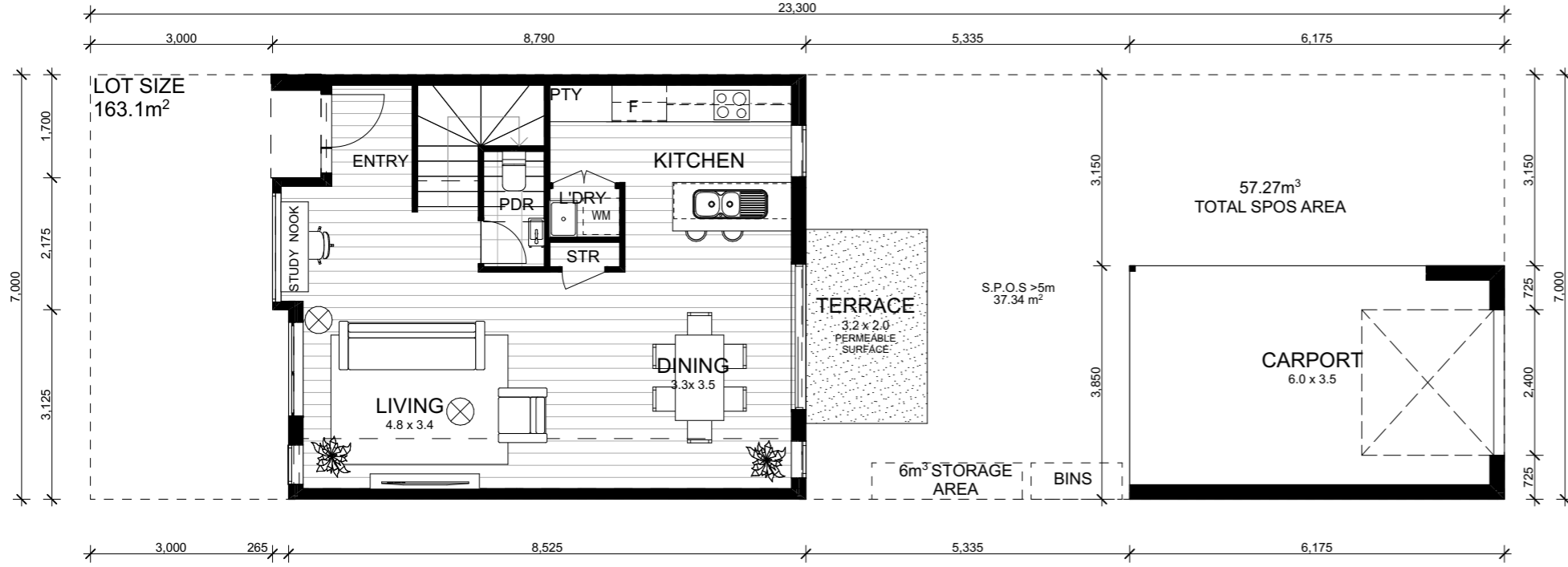
2 BEDS
 2 BATHS
 1 CAR



D02 | **FIRST FLOOR PLAN**
1:100



D03 | **FRONT ELEVATION**
1:100



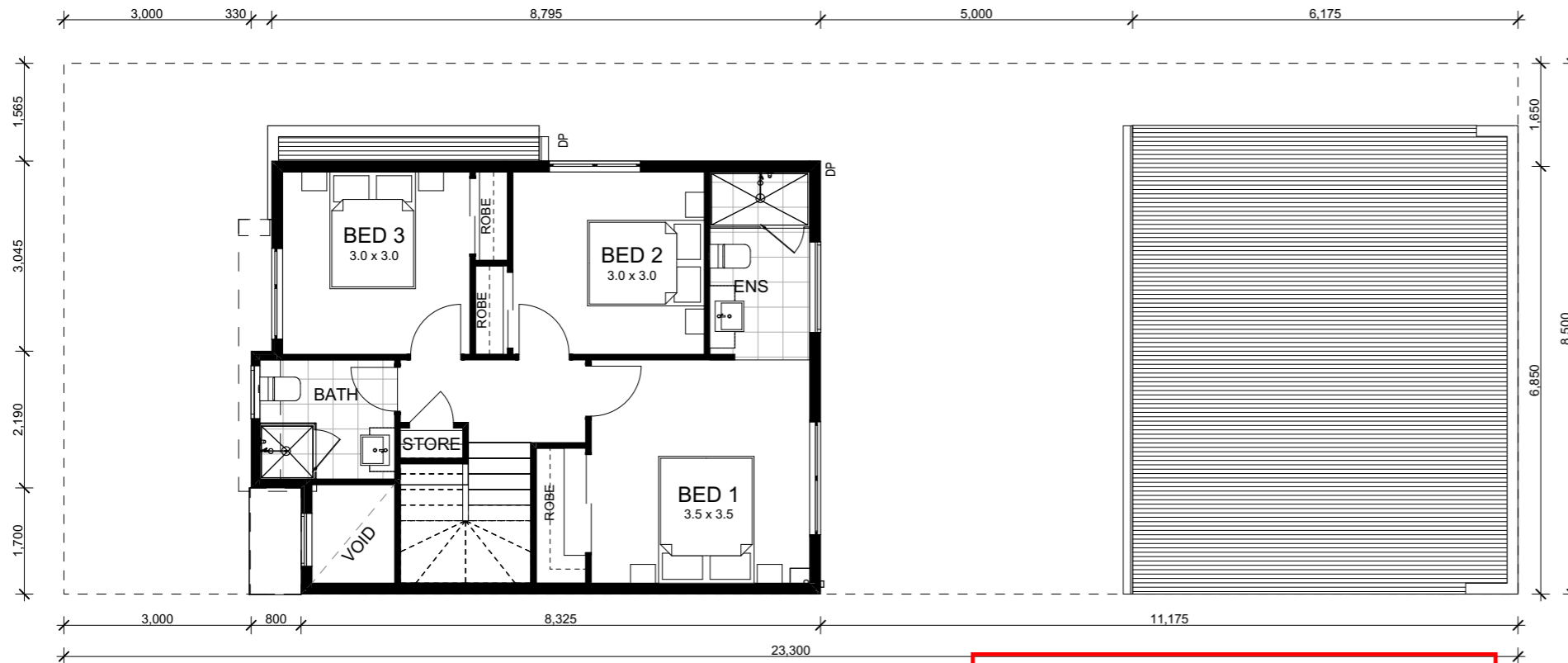
D01 | **GROUND FLOOR PLAN**
1:100



D04 | **REAR ELEVATION**
1:100

AREA TYPE F - FACADE 2	
	AREA
GROUND FLOOR	59.54
FIRST FLOOR	50.26
CARPORT	23.77
PORCH	4.10
TOTAL	137.67 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVEABLE HOUSING UNITS UPDATES	25.04.24

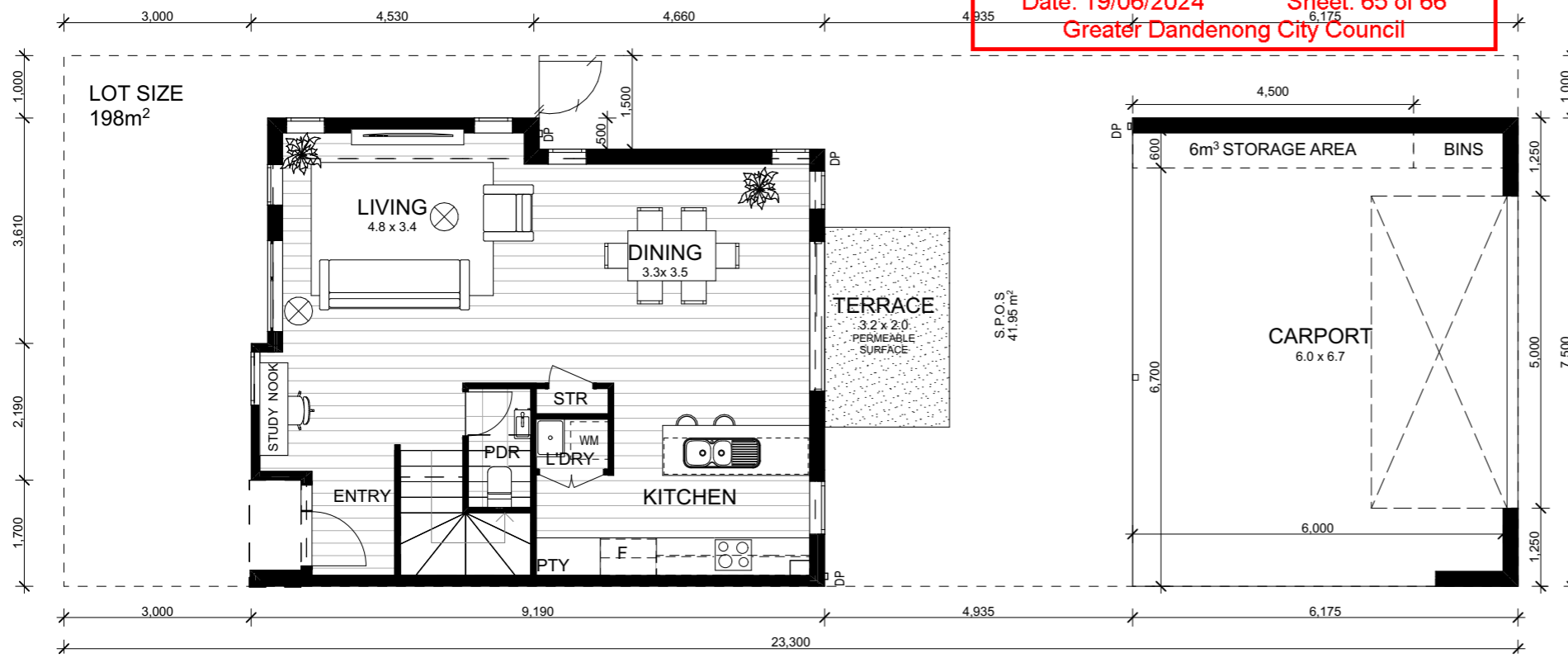


D01 FIRST FLOOR PLAN
1:100

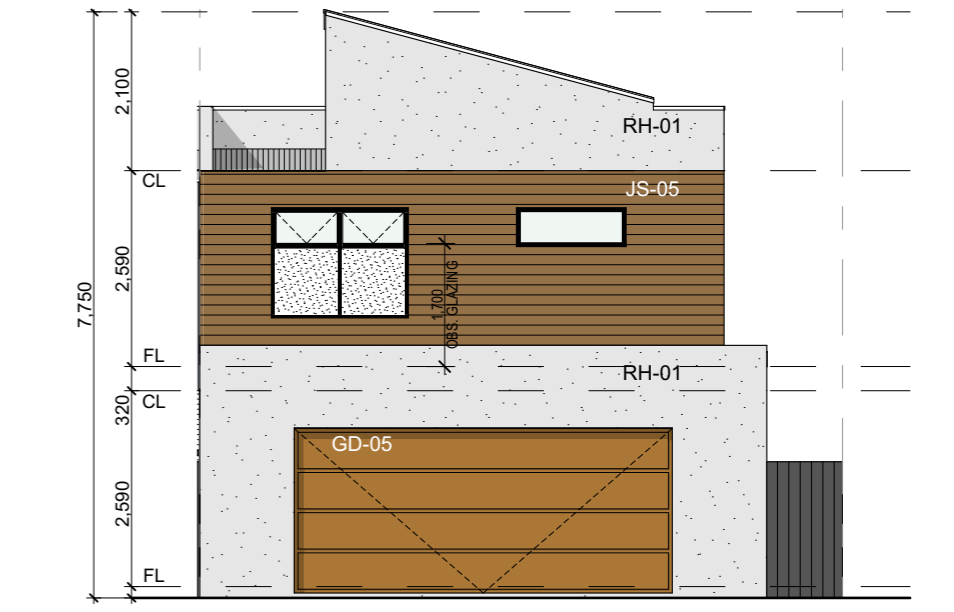
GREATER DANDENONG PLANNING SCHEME
 Secondary Consent Approval under
 Planning Permit PLN21/0218
 CGD Ref: PSEC24/0060
 Council Delegate: Richard Stevenson
 Date: 19/06/2024 Sheet: 65 of 66
 Greater Dandenong City Council



D03 FRONT ELEVATION
1:100



D02 GROUND FLOOR PLAN
1:100



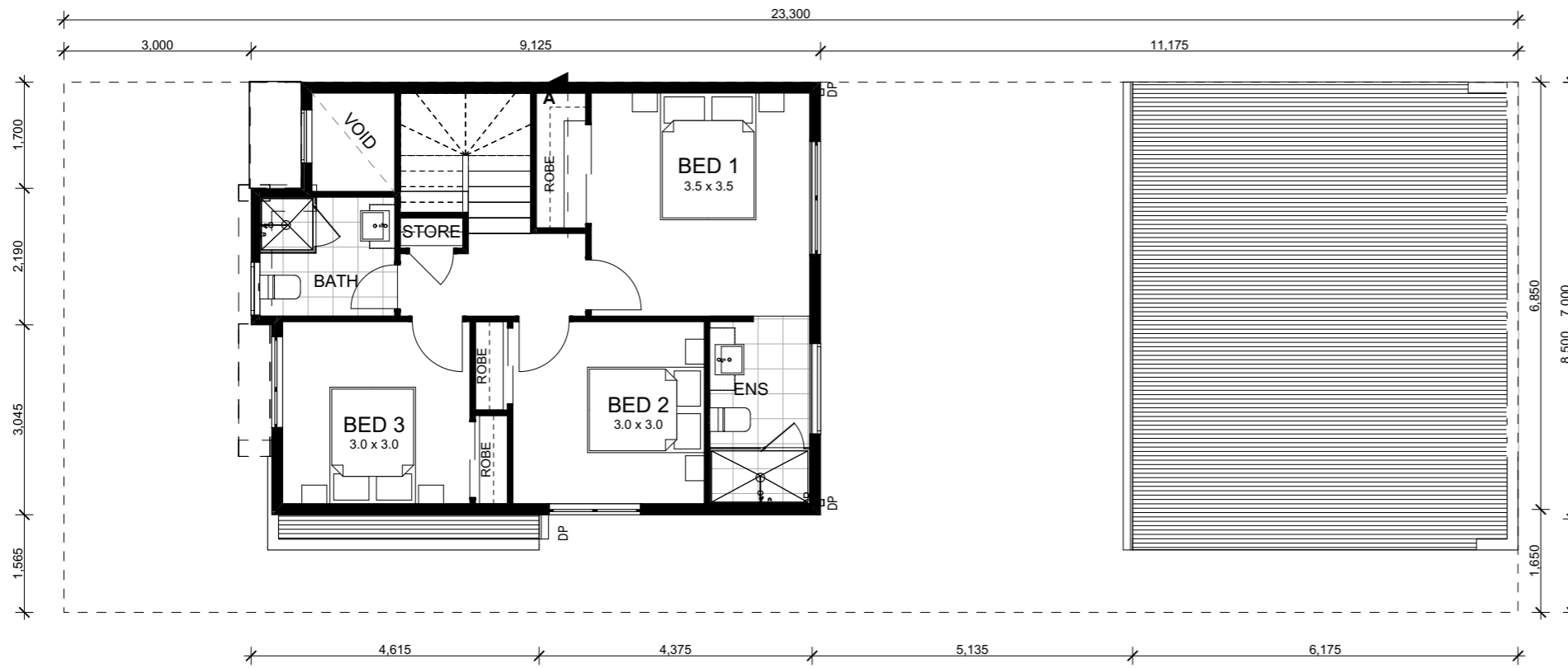
D04 REAR ELEVATION
1:100

AREA TYPE F - C - FACADE 1	
	AREA
GROUND FLOOR	64.69
FIRST FLOOR	60.77
CARPORT	46.31
PORCH	4.10
	175.87 m²

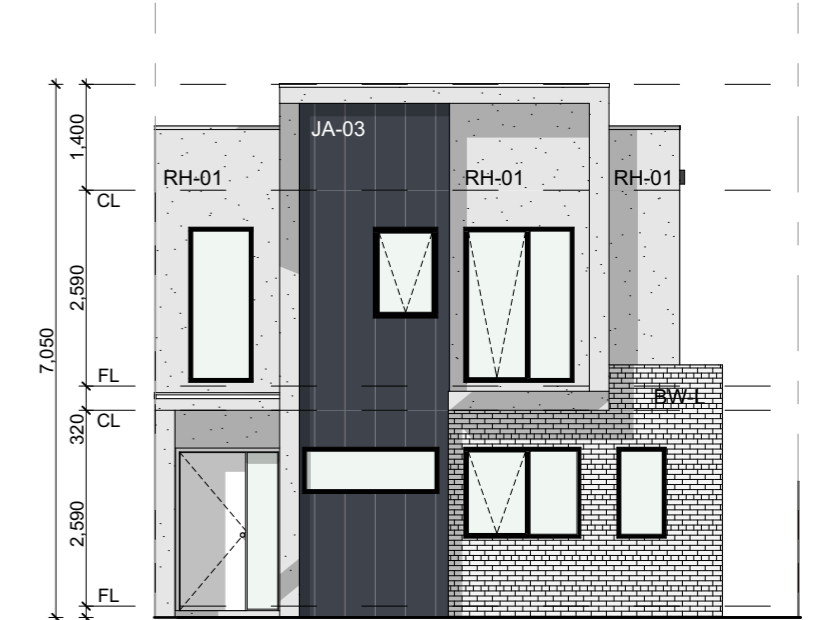
rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RFS	30.09.21
C	TOWN PLANNING - COUNCIL RFS	19.01.22
D	TOWN PLANNING - COUNCIL RFS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24

GREATER DANDENONG PLANNING SCHEME
Secondary Consent Approval under LOT 35
Planning Permit PLN21/0218
CGD Ref: PSEC24/0060
Council Delegate: Richard Stevenson
Date: 19/06/2024 Sheet: 66 of 66
Greater Dandenong City Council

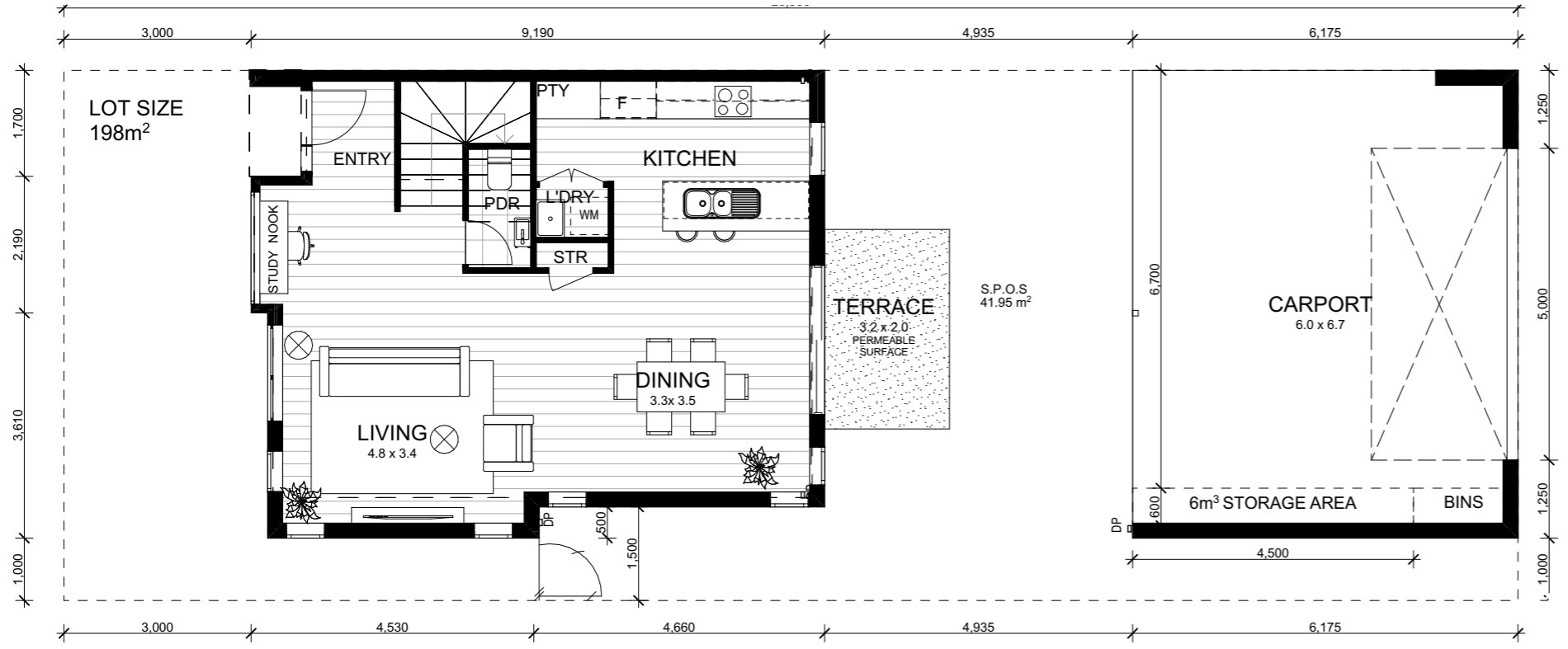
3 BEDS
 2 BATHS
 2 CARS



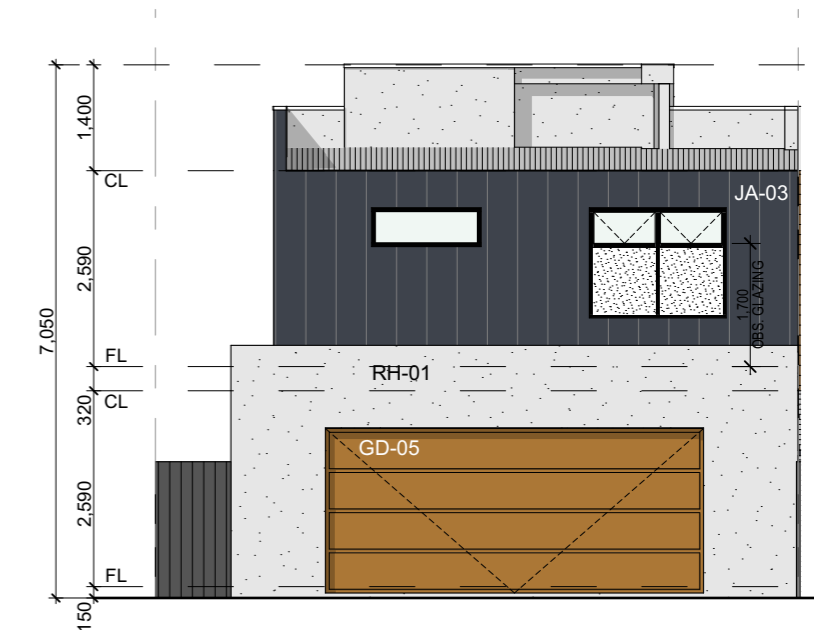
D07 FIRST FLOOR PLAN
 1:100



D01 FRONT ELEVATION
 1:100



D08 GROUND FLOOR PLAN
 1:100



D02 REAR ELEVATION
 1:100

AREA TYPE F - C - FACADE 2	
	AREA
GROUND FLOOR	64.63
FIRST FLOOR	60.94
CARPORT	46.31
PORCH	4.10
TOTAL	175.98 m²

rev	description	date
A	PRELIMINARY DRAWINGS FOR DESIGN ASSESSMENT PANEL	27.07.21
B	TOWN PLANNING - COUNCIL RfS	30.09.21
C	TOWN PLANNING - COUNCIL RfS	19.01.22
D	TOWN PLANNING - COUNCIL RfS	20.07.22
E	FPLS UPDATED TO MATCH CIVIL PLANS	08.08.22
F	FENCE TYPE UPDATED - DA SUBMISSION REQUEST	12.10.22
G	SECTIONAL GARAGE DOOR UPDATED / UPDATES	21.11.22
H	LIVABLE HOUSING UNITS UPDATES	25.04.24